

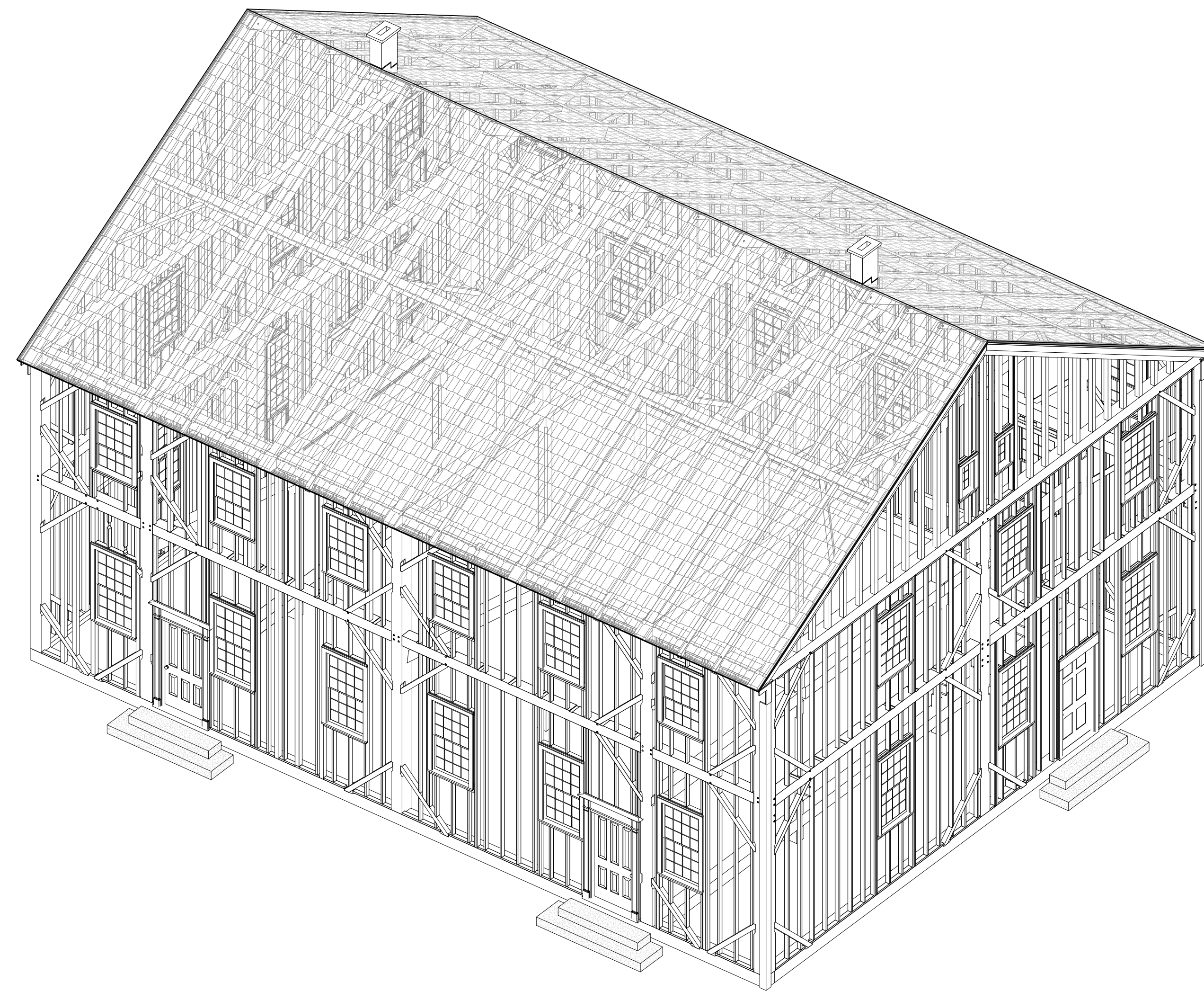
# 1816 FARMINGTON QUAKER MEETINGHOUSE

## EXTERIOR RESTORATION

### CONSTRUCTION DOCUMENTS

ARCHITECT'S PROJECT NO: 2022.23C  
DATE: OCTOBER 23, 2023

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1 3D AXONOMETRIC VIEW  
A000

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#### GENERAL NOTES

- 1) THE 1816 FARMINGTON QUAKER MEETINGHOUSE IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES. ALL ASPECTS OF THE PROPERTY CONTRIBUTE TO THIS SIGNIFICANCE. THE CONTRACTOR SHALL NOT MAKE JUDGEMENTS AS TO THE RELATIVE SIGNIFICANCE OF ANY FEATURE NOR THE IMPACT OF ANY OR ALL WORK. THIS JUDGEMENT RESPONSIBILITY SHALL REST SOLELY WITH THE ARCHITECT. CONSEQUENTLY, NO DEVIATIONS FROM THE CONTRACT DOCUMENTS SHALL OCCUR WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO TAKE APPROPRIATE CARE IN REPAIRING AND REPLACING HISTORIC MATERIAL.
- 2) ALL DIMENSIONS SHOWN ARE TO FINISHED SURFACES UNLESS NOTED OTHERWISE.

#### ABBREVIATIONS

CONT.	CONTINUOUS
DIA.	DIAMETER
MAX.	MAXIMUM
MIN.	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
O.C.	ON CENTER
TYP.	TYPICAL
UNO	UNLESS NOTED OTHERWISE

#### UNIT PRICES

- 1) UNIT PRICE NO. 1: SELECTIVE REMOVAL OF HISTORIC WOOD BOARD SHEATHING AT ROOF AND REPLACEMENT WITH PLYWOOD SHEATHING. MEASURED IN SQUARE YARDS OF HISTORIC SHEATHING REMOVED.

THE 1816 FARMINGTON QUAKER MEETINGHOUSE IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES FOR ITS ARCHITECTURAL AND HISTORIC SIGNIFICANCE. IT IS CONSIDERED TO HAVE IRREPLACEABLE CULTURAL, MATERIAL, AND AESTHETIC VALUE. THE WORK IS FUNDED IN PART BY THE HISTORIC PRESERVATION FUND, ADMINISTERED BY THE NATIONAL PARK SERVICE, DEPARTMENT OF THE INTERIOR. THE FUNDING OF WHICH IS SUBJECT TO HAVING ALL WORK ITEMS MEET THE SECRETARY OF THE INTERIOR'S STANDARD FOR THE TREATMENT OF HISTORIC PROPERTIES.

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TITLE SHEET

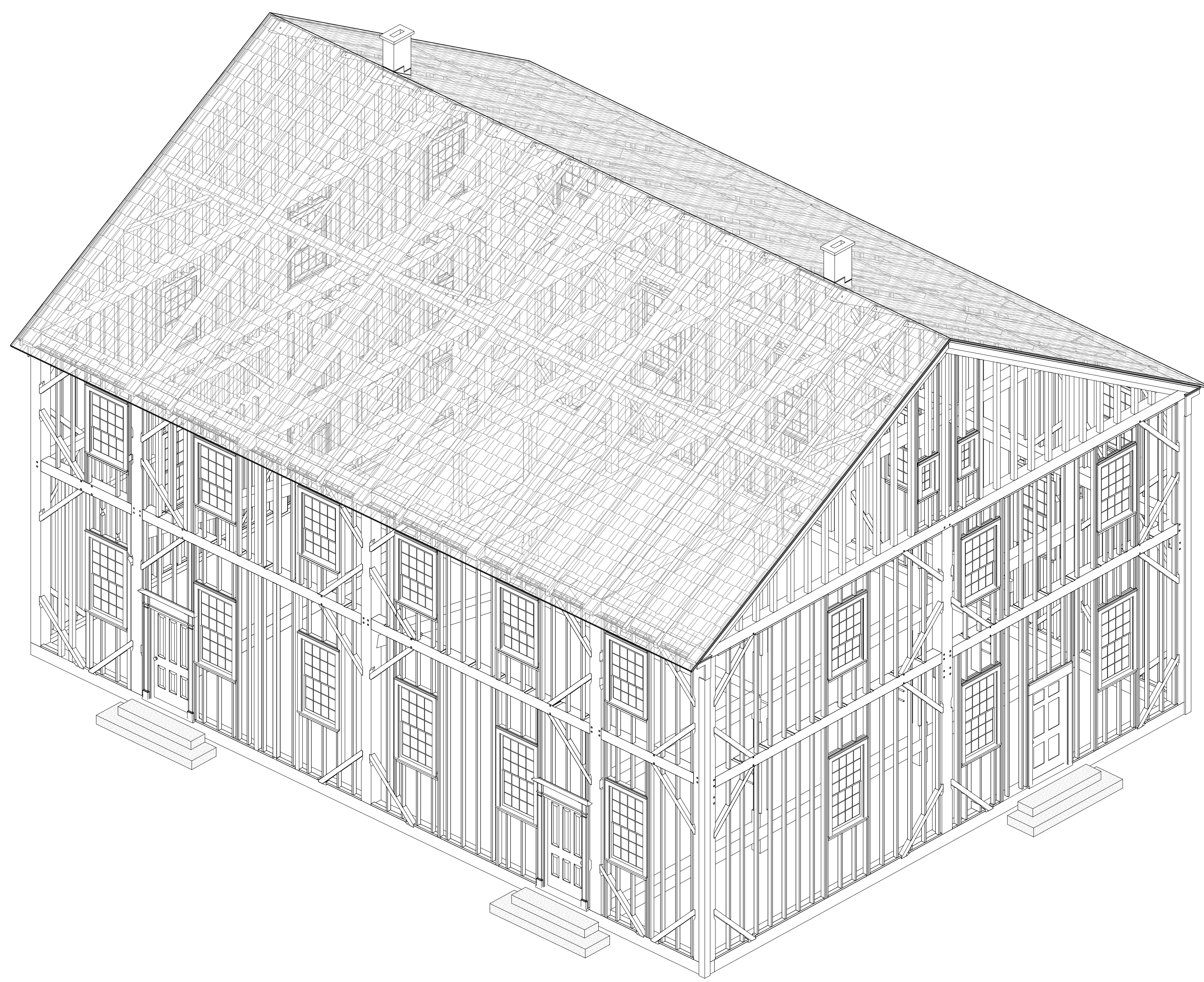
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1816 FARMINGTON MEETINGHOUSE  
EXTERIOR RESTORATION  
230 SHELDON ROAD  
FARMINGTON, NY 14425

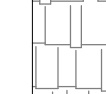
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A000





**LEGEND:**

 REMOVE EXISTING ROOFING DOWN TO SHEATHING.

**GENERAL NOTES:**

- A. EXISTING EXTERIOR SHEATHING HAS BEEN OMITTED IN THIS VIEW IN ORDER TO SHOW FRAMING.
- B. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES AND DIMENSIONS.

1 3D AXONOMETRIC VIEW  
A001 NOT TO SCALE

A001

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3D AXONOMETRIC VIEW

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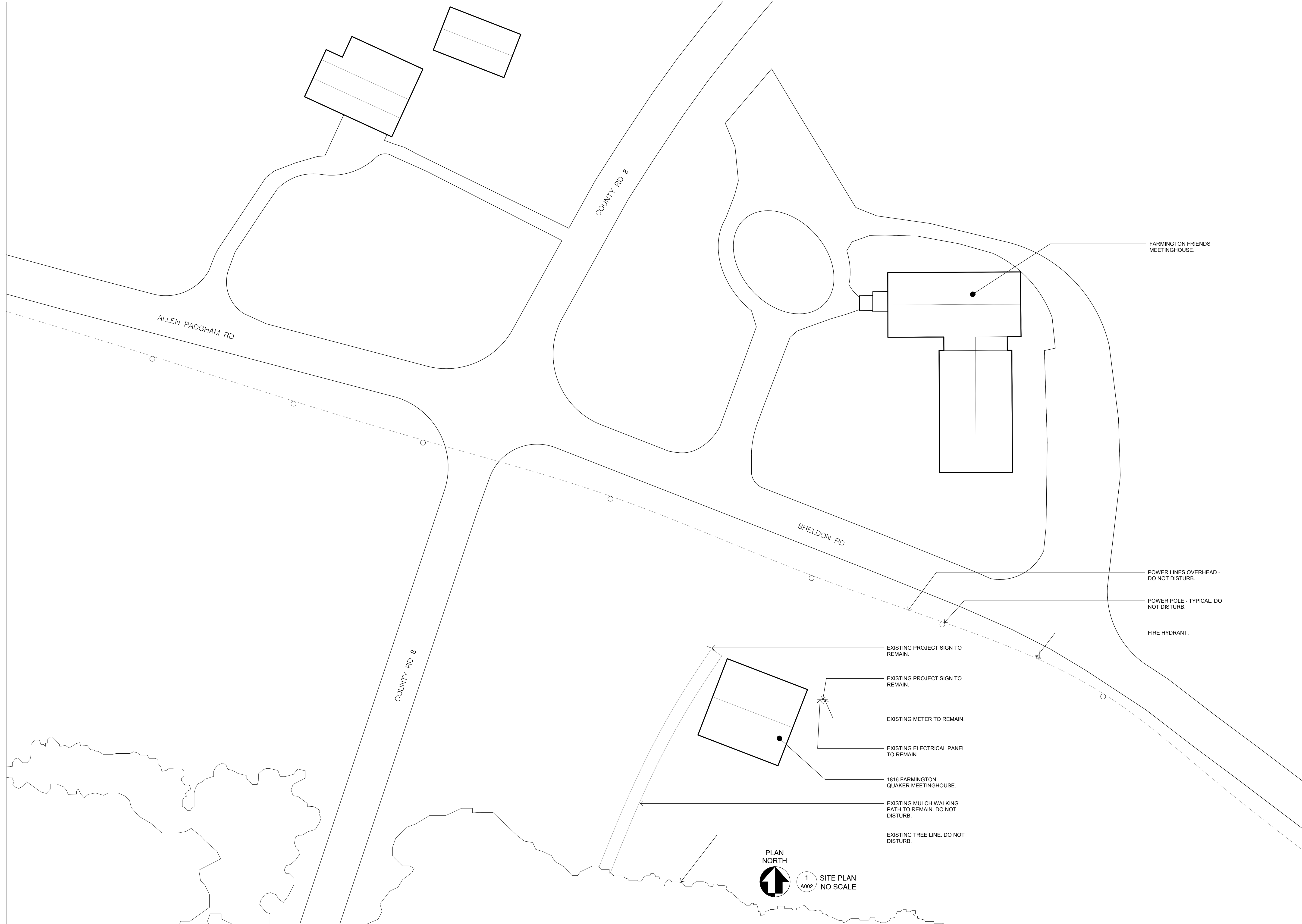
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1816 FARMINGTON MEETINGHOUSE

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230 SHELDON ROAD  
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SCALE  
1/4" = 1'-0"  
DATE  
2022-23C  
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DATE  
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A001



A002

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SITE PLAN

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A002

**UNIT PRICES**  
 1.) UNIT PRICE NO. 1. SELECTIVE REMOVAL OF HISTORIC WOOD BOARD SHEATHING AT ROOF AND REPLACEMENT WITH PLYWOOD SHEATHING. MEASURED IN SQUARE YARDS OF HISTORIC SHEATHING REMOVED.

REMOVE WOOD PANEL SIDING, CORRUGATED METAL, AND SHEATHING DOWN TO, BUT NOT INCLUDING, WOOD FRAMING. PROVIDE SHEATHING, BUILDING WRAP, AND WOOD SIDING.

REMOVE WOOD PANEL SIDING AND SHEATHING DOWN TO, BUT NOT INCLUDING, WOOD FRAMING. PROVIDE SHEATHING, BUILDING WRAP, AND WOOD SIDING.

REMOVE WOOD PANEL SIDING, VENTS, AND SHEATHING DOWN TO, BUT NOT INCLUDING, WOOD FRAMING. PROVIDE SHEATHING, BUILDING WRAP, AND WOOD SIDING.

REMOVE WOOD PANEL SIDING, VENTS, AND SHEATHING DOWN TO, BUT NOT INCLUDING WOOD FRAMING. PROVIDE SHEATHING, BUILDING WRAP, AND WOOD SIDING.

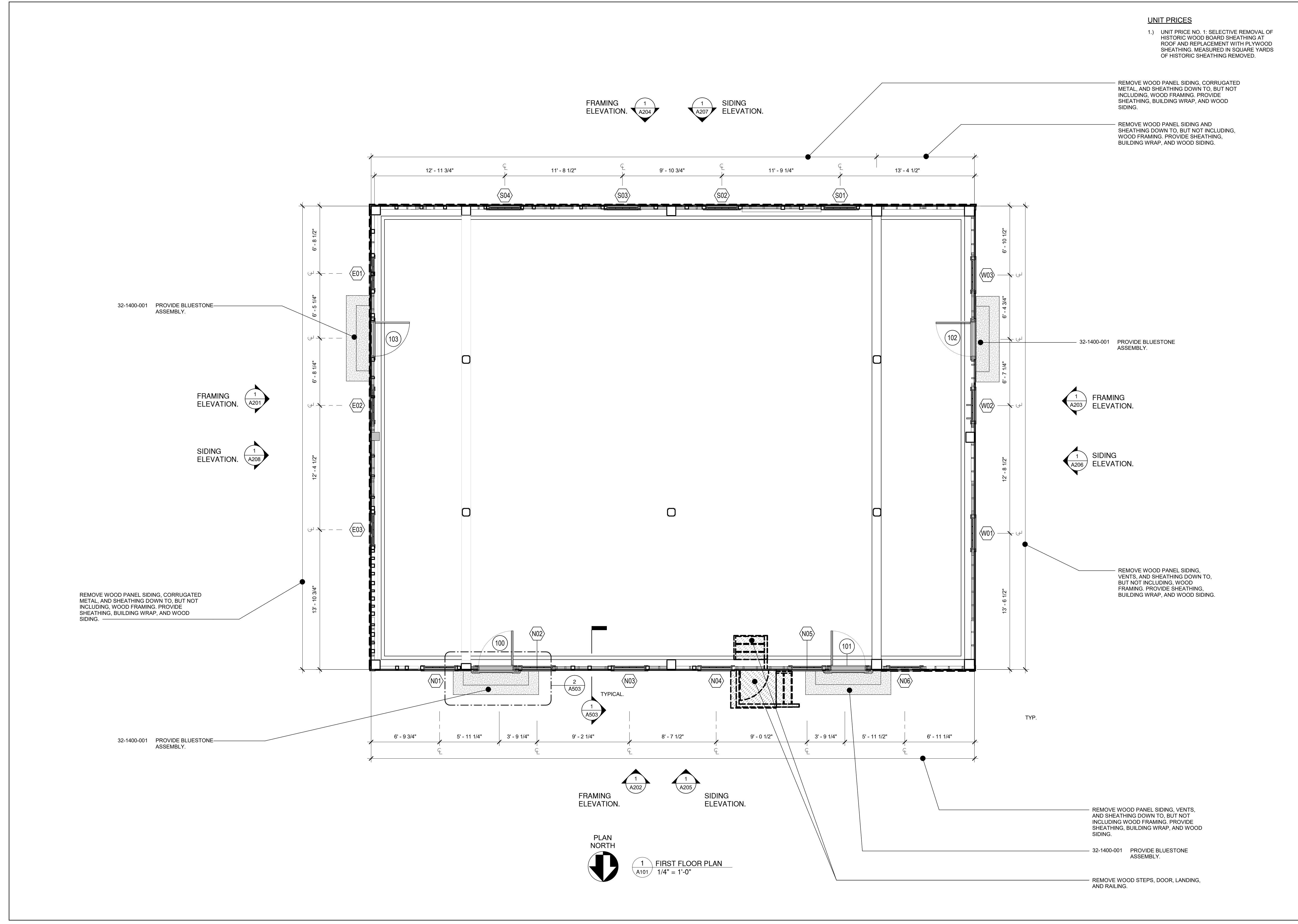
32-1400-001 PROVIDE BLUESTONE ASSEMBLY.

REMOVE WOOD STEPS, DOOR, LANDING, AND RAILING.

REMOVE WOOD PANEL SIDING, CORRUGATED METAL, AND SHEATHING DOWN TO, BUT NOT INCLUDING, WOOD FRAMING. PROVIDE SHEATHING, BUILDING WRAP, AND WOOD SIDING.

32-1400-001 PROVIDE BLUESTONE ASSEMBLY.

32-1400-001 PROVIDE BLUESTONE ASSEMBLY.



A101

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FIRST FLOOR PLAN

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 230 SHELDON ROAD  
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A101

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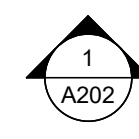
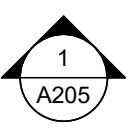
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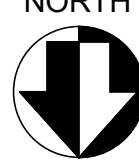
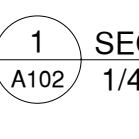
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1/4" = 1'-0"
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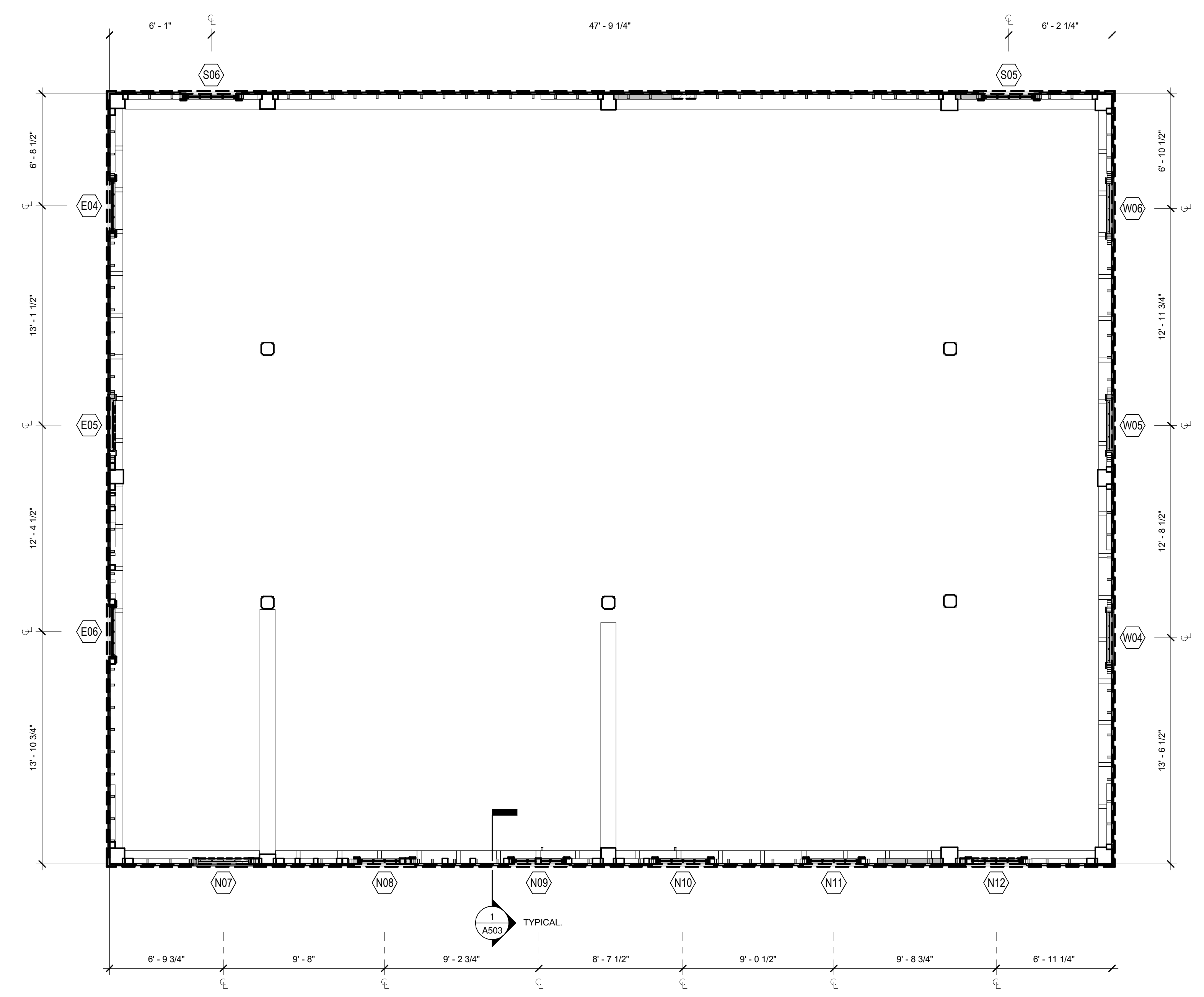
FRAMING ELEVATION.  SIDING ELEVATION. 

FRAMING ELEVATION.   
SIDING ELEVATION. 

 FRAMING ELEVATION.  
 SIDING ELEVATION.

FRAMING ELEVATION.  SIDING ELEVATION. 

PLAN NORTH   
 SECOND FLOOR PLAN  
1/4" = 1'-0"









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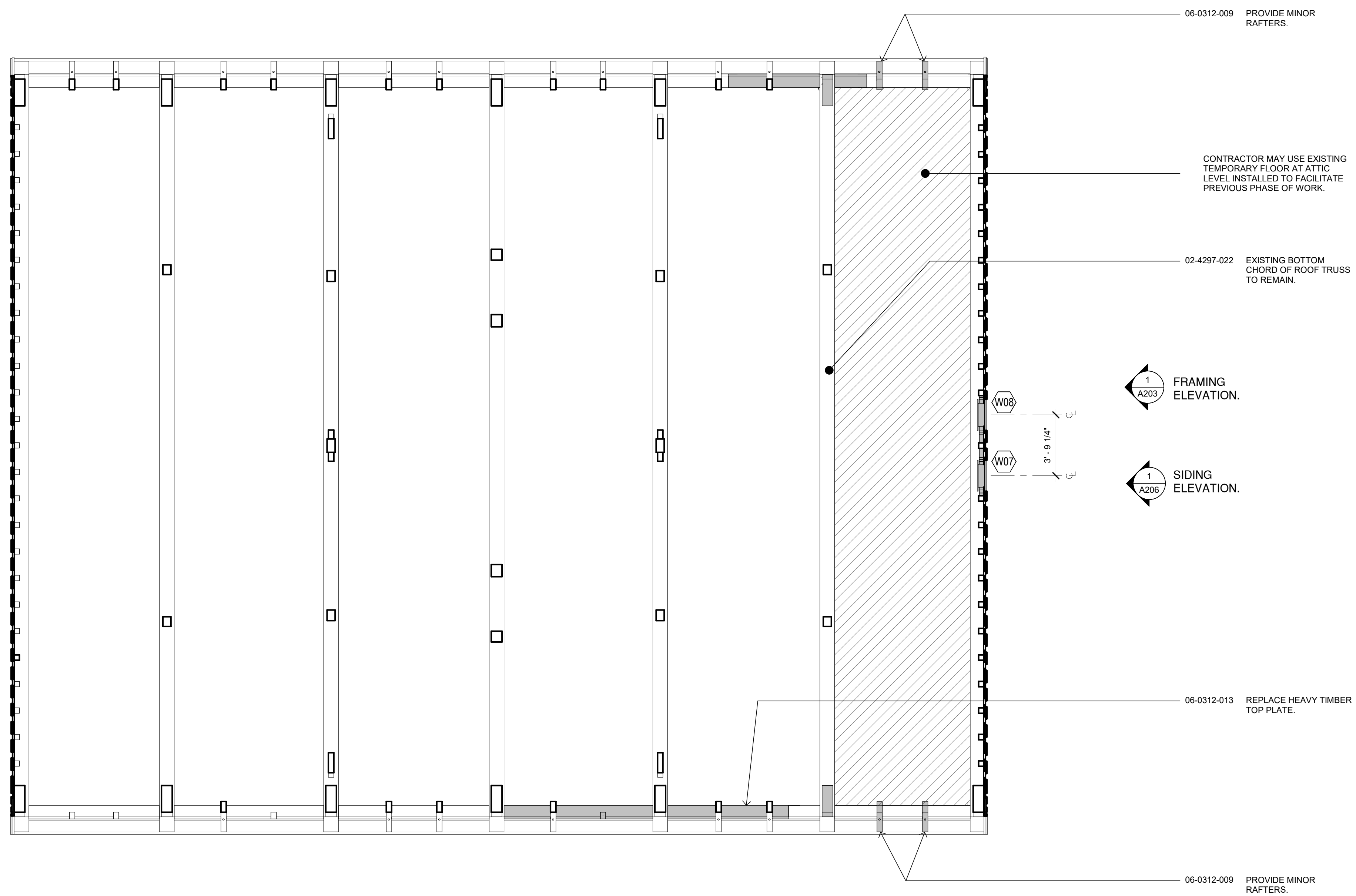
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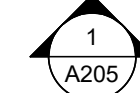
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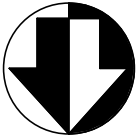
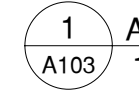
SCALE	1/4" = 1'-0"
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FRAMING ELEVATION.  SIDING ELEVATION. 

FRAMING ELEVATION.  SIDING ELEVATION. 



FRAMING ELEVATION.  SIDING ELEVATION. 

PLAN NORTH   ATTIC FLOOR PLAN 1/4" = 1'-0"

LEGEND:

REMOVE EXISTING ROOFING DOWN TO SHEATHING. REFER TO A105 FOR SHEATHING TO REMAIN. PROVIDE NEW SHINGLE ROOF.

OUTLINE OF HEAVY TIMBER FRAMING BELOW SHEATHING. ADDITIONAL 2X FRAMING EXISTS BETWEEN EACH BAY.

A104

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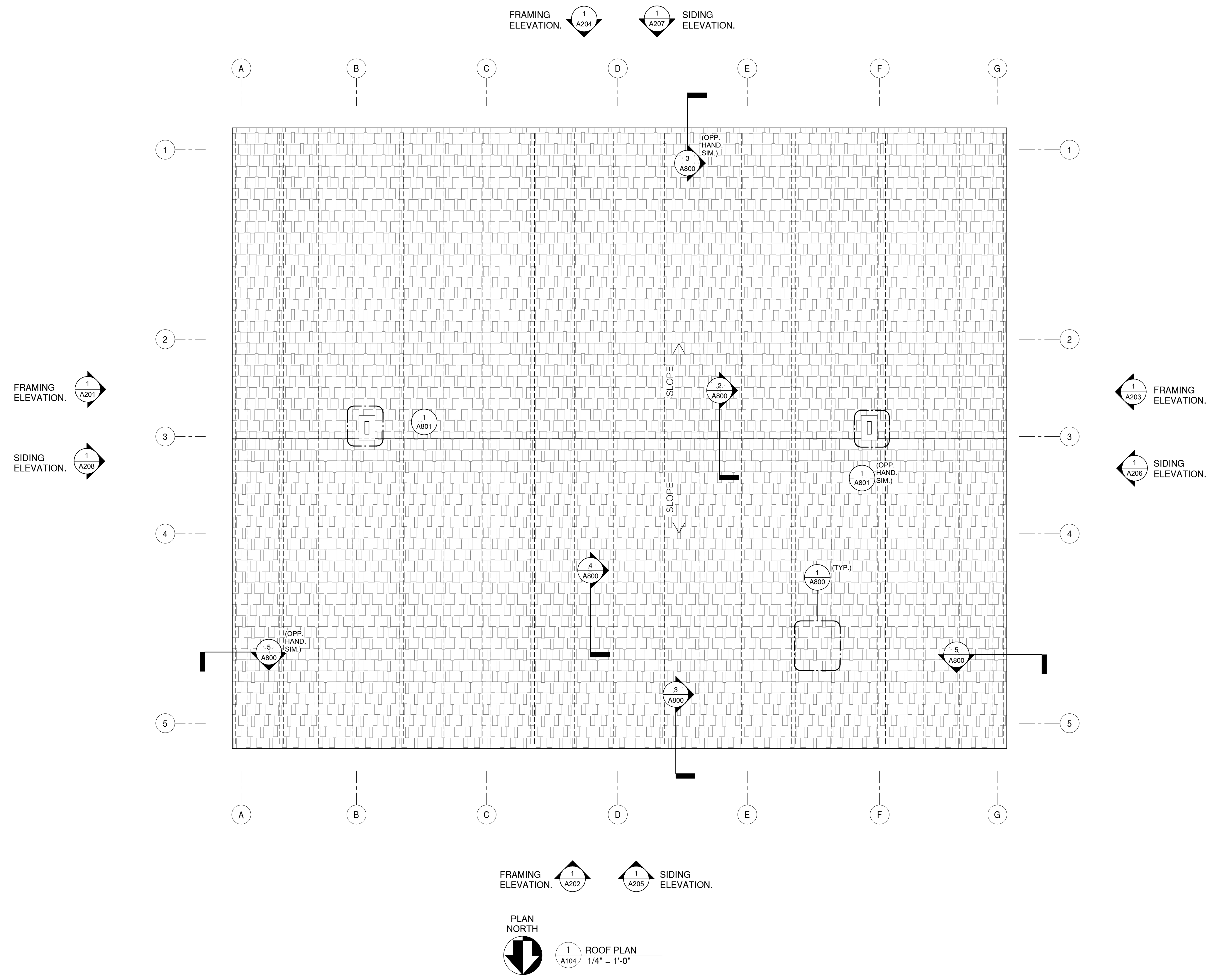
ROOF PLAN

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A104



**LEGEND:**

--- EXISTING ADDITIONAL 2X FRAMING ON JOIST HANGERS. NUMBER AND LOCATION APPROXIMATE.

[Hatched pattern] EXISTING HISTORIC ROOF SHEATHING TO REMAIN. INFILL REMAINDER WITH 3/4" THICK DECKING AND COVER ENTIRE ROOF SURFACE WITH 3/8" THICK PLYWOOD. PROVIDE FURRING STRIPS AS NEEDED TO ELIMINATE SIGNIFICANT OUT OF PLANE SURFACES THAT MIGHT CREATE UNEVENNESS BETWEEN SHEETS OF PLYWOOD.

[Hatched pattern] PROVIDE 3/4" THICK DECKING AND COVER ENTIRE ROOF SURFACE WITH 3/8" THICK PLYWOOD.

**GENERAL NOTE:**

1) REMOVE EXISTING ROOFING AND PLYWOOD UNDERLAYMENT DOWN TO HISTORIC SHEATHING.

**UNIT PRICES**

1) UNIT PRICE NO. 1: SELECTIVE REMOVAL OF HISTORIC WOOD BOARD SHEATHING AT ROOF AND REPLACEMENT WITH PLYWOOD SHEATHING. MEASURED IN SQUARE YARDS OF HISTORIC SHEATHING REMOVED.

FRAMING ELEVATION. 1 A204

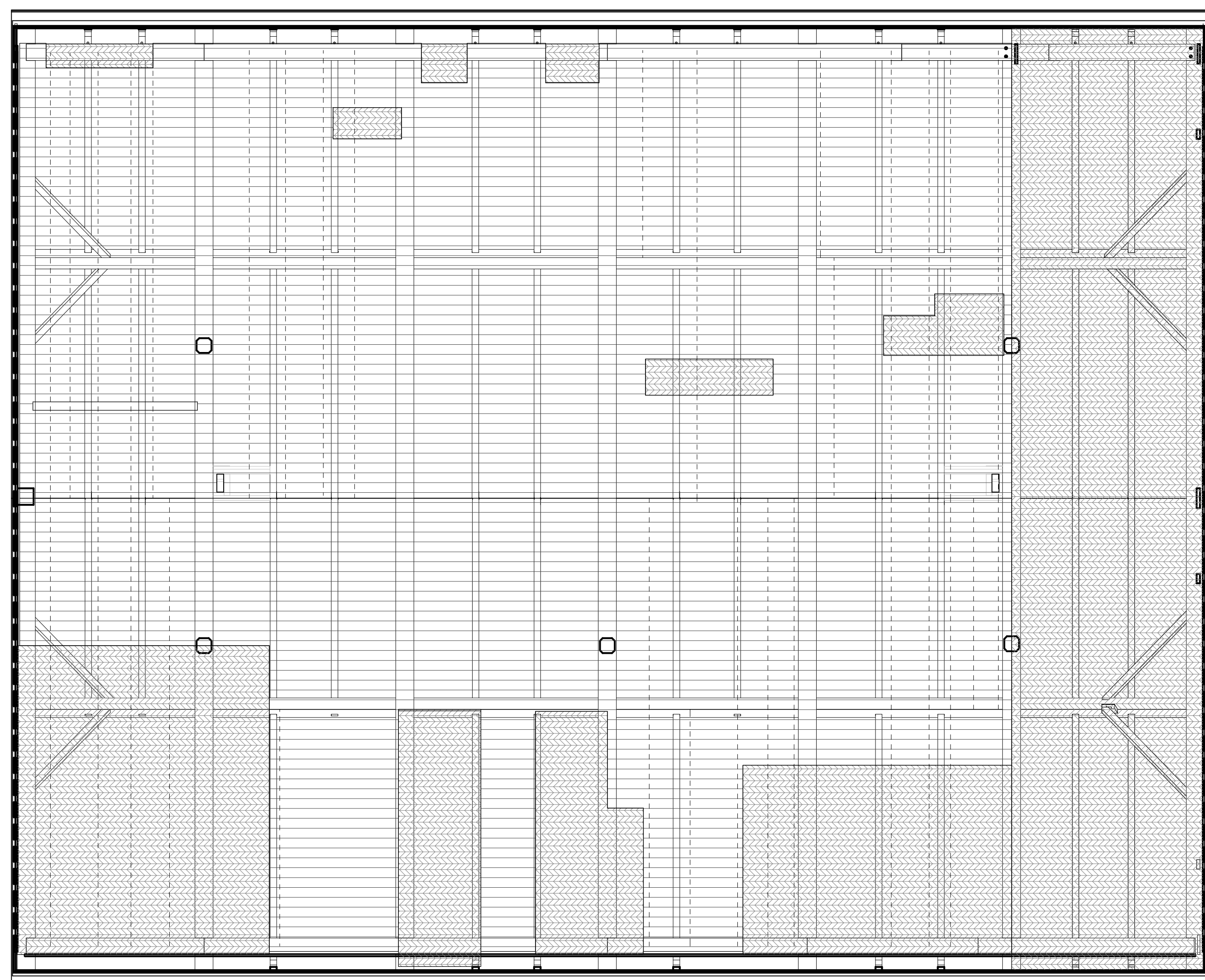
1 A207 SIDING ELEVATION.

FRAMING ELEVATION. 1 A201

1 A208 SIDING ELEVATION.

1 A203 FRAMING ELEVATION.

1 A206 SIDING ELEVATION.



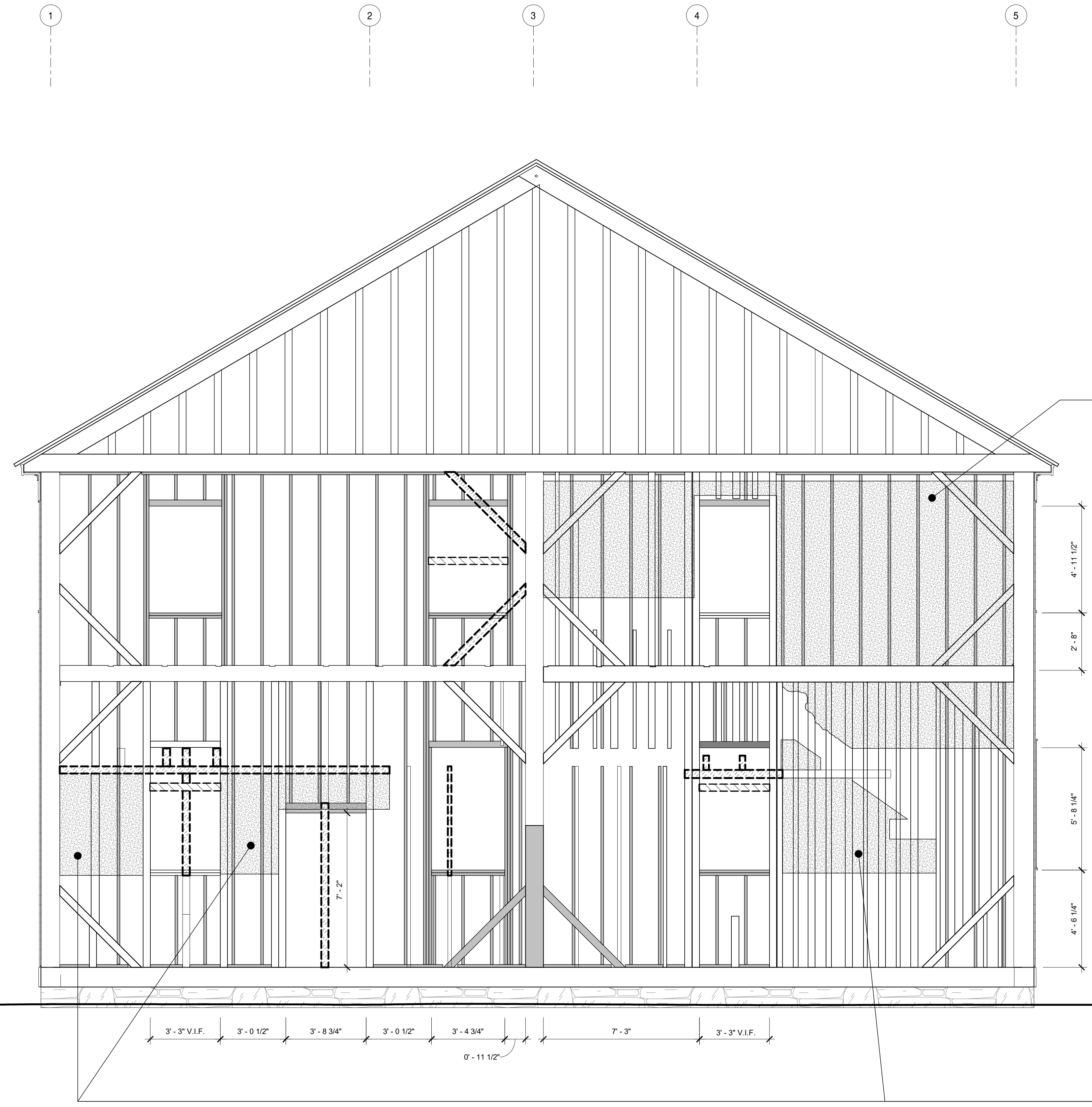
FRAMING ELEVATION. 1 A202

1 A205 SIDING ELEVATION.

PLAN NORTH

1 A105 ATTIC REFLECTED CEILING PLAN  
 1/4" = 1'-0"





- LEGEND:**
- PROVIDE NEW.
  - REINSTALLATION LOCATION FOR SALVAGED HISTORIC FRAMING.
  - SALVAGE, REPAIR, AND REINSTALL HISTORIC FRAMING IN SAME BAY AT HIGHER ELEVATION.
  - EXISTING FRAMING TO REMAIN.
  - EXISTING FRAMING TO BE REMOVED. VERIFY IN THE FIELD WITH THE ARCHITECT.
  - HISTORIC INTERIOR PLASTER TO REMAIN. DO NOT DISTURB.
- GENERAL NOTES:**
- A. EXISTING EXTERIOR SHEATHING HAS BEEN OMITTED IN THIS VIEW IN ORDER TO SHOW FRAMING.
  - B. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES AND DIMENSIONS.

- HISTORIC INTERIOR PLASTER TO REMAIN. DO NOT DISTURB.
- ATTIC - T.O. BEAM  
23' - 10"
- ATTIC PLAN  
23' - 0"
- 02 SECOND FLOOR  
13' - 9 1/2"
- FIRST FLOOR - TOP OF SILL  
0' - 0"
- T.O. FOUNDATION  
-0' - 11"

3' - 3" V.I.F.    3' - 0 1/2"    3' - 8 3/4"    3' - 0 1/2"    3' - 4 3/4"    7' - 3"    3' - 3" V.I.F.

0' - 11 1/2"

1 EAST ELEVATION - FRAMING  
A201 3/8" = 1'-0"

A201

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EAST ELEVATION -  
FRAMING

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REVISION NUMBER

A201



**LEGEND:**

- PROVIDE NEW.
- REINSTALLATION LOCATION FOR SALVAGED HISTORIC FRAMING.
- SALVAGE, REPAIR, AND REINSTALL HISTORIC FRAMING IN SAME BAY AT HIGHER ELEVATION.
- EXISTING FRAMING TO REMAIN.
- EXISTING FRAMING TO BE REMOVED. VERIFY IN THE FIELD WITH THE ARCHITECT.
- HISTORIC INTERIOR PLASTER TO REMAIN. DO NOT DISTURB.

**GENERAL NOTES:**

- A. EXISTING EXTERIOR SHEATHING HAS BEEN OMITTED IN THIS VIEW IN ORDER TO SHOW FRAMING.
- B. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES AND DIMENSIONS.

A202

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**NORTH ELEVATION - FRAMING**

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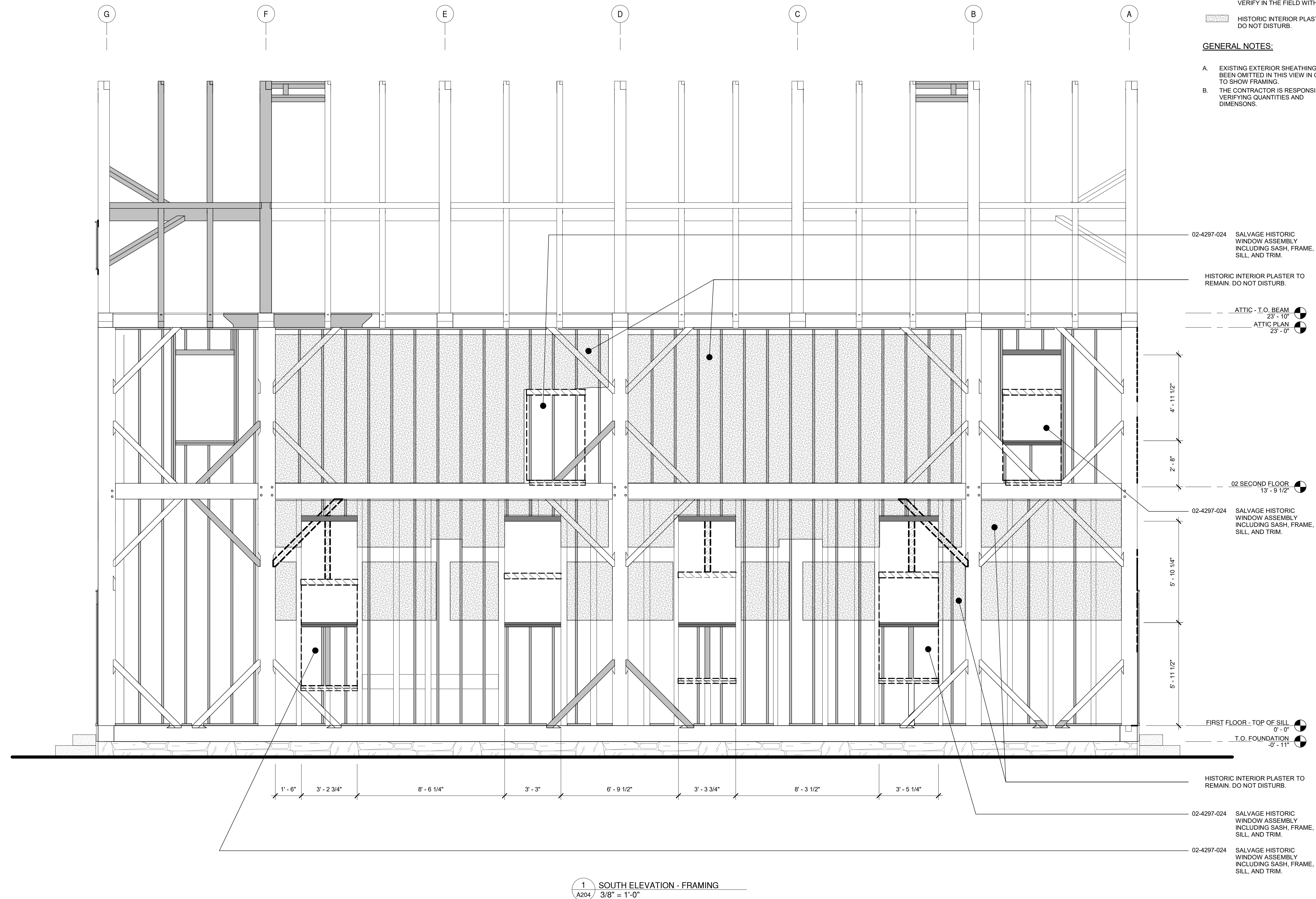
A202

1 NORTH ELEVATION - FRAMING  
A202 3/8" = 1'-0"

- LEGEND:**
- PROVIDE NEW.
  - REINSTALLATION LOCATION FOR SALVAGED HISTORIC FRAMING.
  - SALVAGE, REPAIR, AND REINSTALL HISTORIC FRAMING IN SAME BAY AT HIGHER ELEVATION.
  - EXISTING FRAMING TO REMAIN.
  - EXISTING FRAMING TO BE REMOVED. VERIFY IN THE FIELD WITH THE ARCHITECT.
  - HISTORIC INTERIOR PLASTER TO REMAIN. DO NOT DISTURB.
- GENERAL NOTES:**
- A. EXISTING EXTERIOR SHEATHING HAS BEEN OMITTED IN THIS VIEW IN ORDER TO SHOW FRAMING.
  - B. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES AND DIMENSIONS.



1 WEST ELEVATION - FRAMING  
 A203 3/8" = 1'-0"



**LEGEND:**

- PROVIDE NEW.
- REINSTALLATION LOCATION FOR SALVAGED HISTORIC FRAMING.
- SALVAGE, REPAIR, AND REINSTALL HISTORIC FRAMING IN SAME BAY AT HIGHER ELEVATION.
- EXISTING FRAMING TO REMAIN.
- EXISTING FRAMING TO BE REMOVED. VERIFY IN THE FIELD WITH THE ARCHITECT.
- HISTORIC INTERIOR PLASTER TO REMAIN. DO NOT DISTURB.

**GENERAL NOTES:**

A. EXISTING EXTERIOR SHEATHING HAS BEEN OMITTED IN THIS VIEW IN ORDER TO SHOW FRAMING.

B. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES AND DIMENSIONS.

02-4297-024 SALVAGE HISTORIC WINDOW ASSEMBLY INCLUDING SASH, FRAME, SILL, AND TRIM.

HISTORIC INTERIOR PLASTER TO REMAIN. DO NOT DISTURB.

ATTIC - I.O. BEAM  
23' - 10"

ATTIC PLAN  
23' - 0"

4' - 11 1/2"

2' - 8"

02 SECOND FLOOR  
13' - 9 1/2"

02-4297-024 SALVAGE HISTORIC WINDOW ASSEMBLY INCLUDING SASH, FRAME, SILL, AND TRIM.

5' - 10 1/4"

5' - 11 1/2"

FIRST FLOOR - TOP OF SILL  
0' - 0"

I.O. FOUNDATION  
-0' - 11"

HISTORIC INTERIOR PLASTER TO REMAIN. DO NOT DISTURB.

02-4297-024 SALVAGE HISTORIC WINDOW ASSEMBLY INCLUDING SASH, FRAME, SILL, AND TRIM.

02-4297-024 SALVAGE HISTORIC WINDOW ASSEMBLY INCLUDING SASH, FRAME, SILL, AND TRIM.

1' - 6"    3' - 2 3/4"    8' - 6 1/4"    3' - 3"    6' - 9 1/2"    3' - 3 3/4"    8' - 3 1/2"    3' - 5 1/4"

1 SOUTH ELEVATION - FRAMING  
A204 3/8" = 1'-0"

A204

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**SOUTH ELEVATION - FRAMING**

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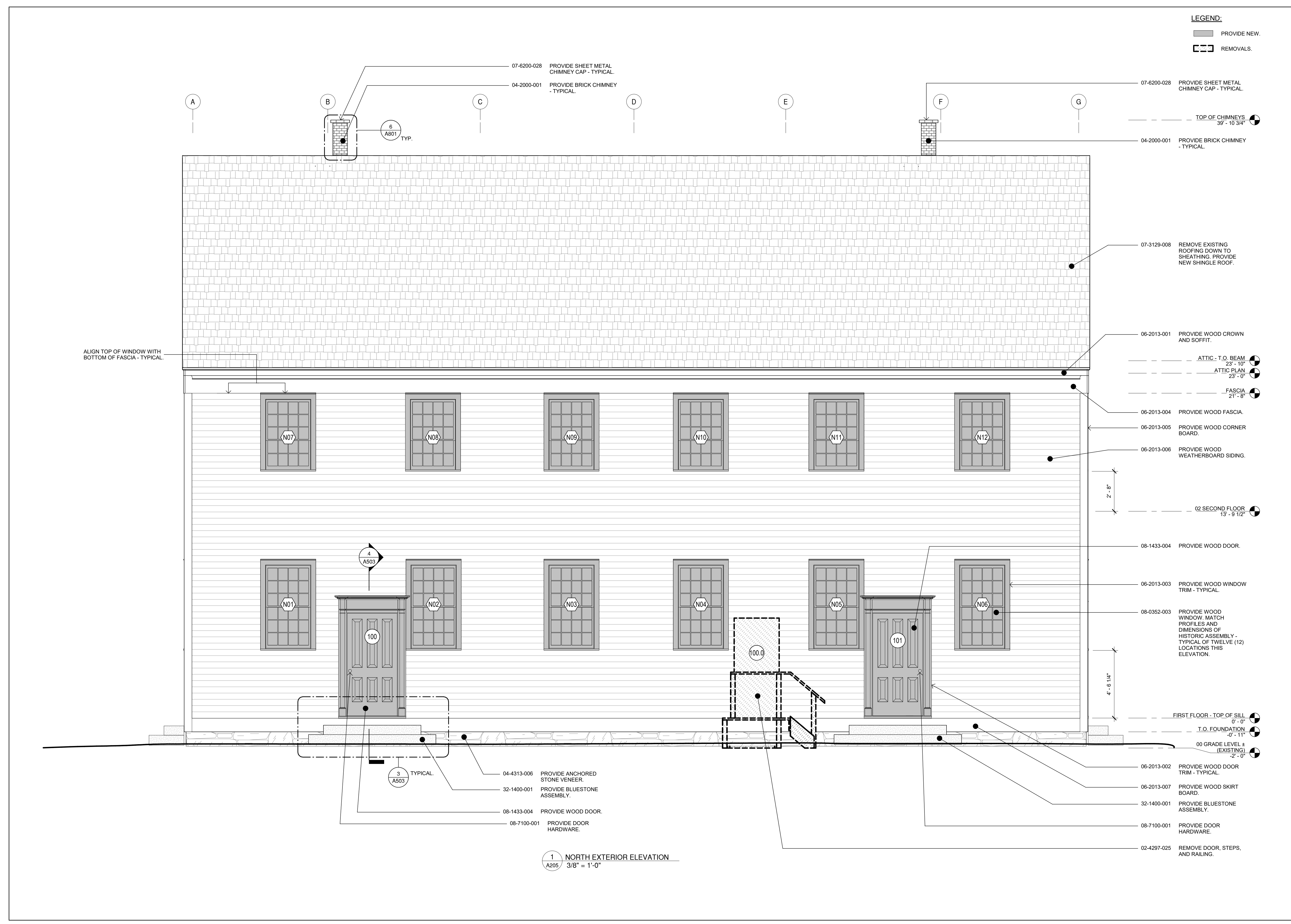
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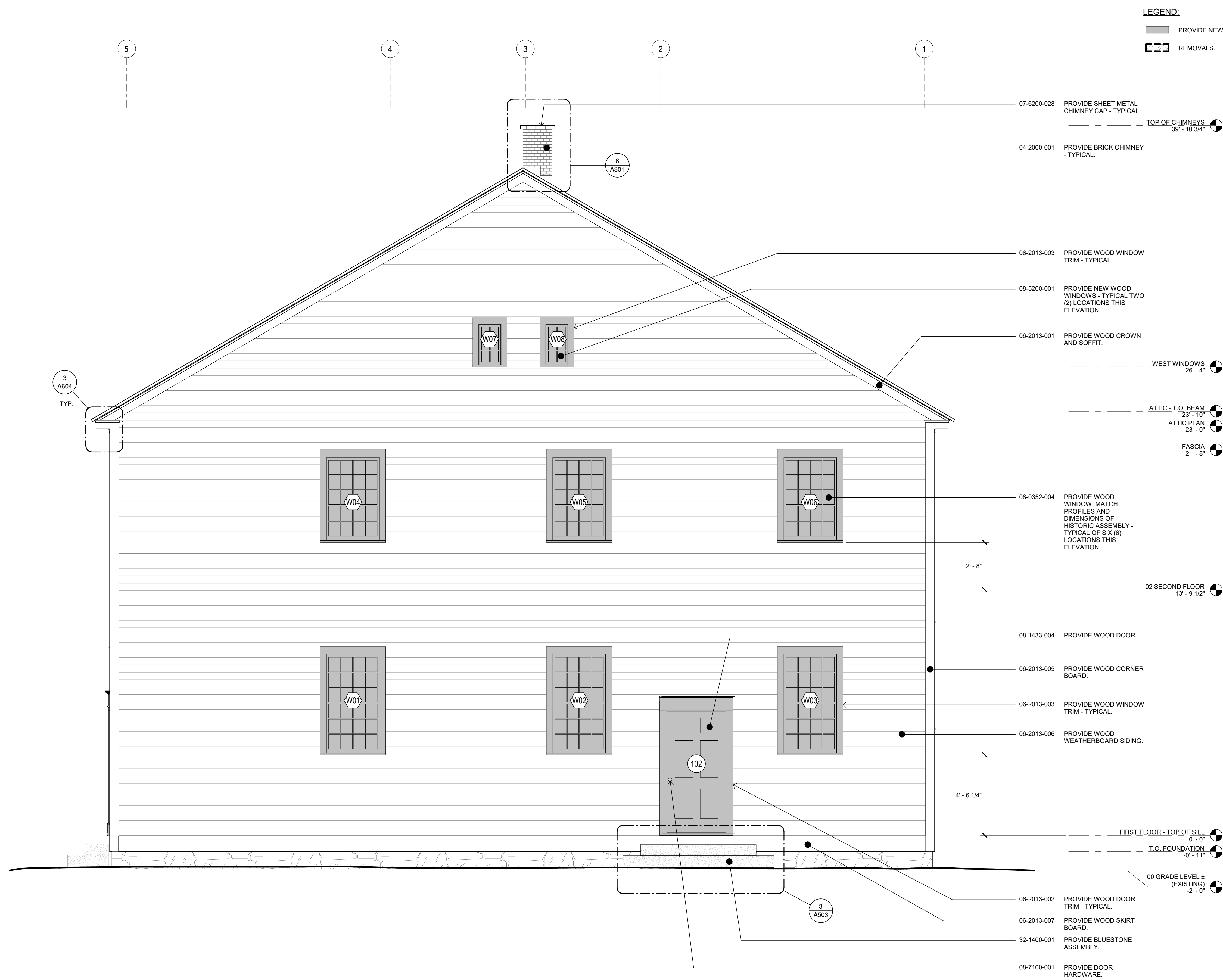
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A204







1 WEST EXTERIOR ELEVATION  
 A206 3/8" = 1'-0"

A206

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WEST EXTERIOR ELEVATION

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A207

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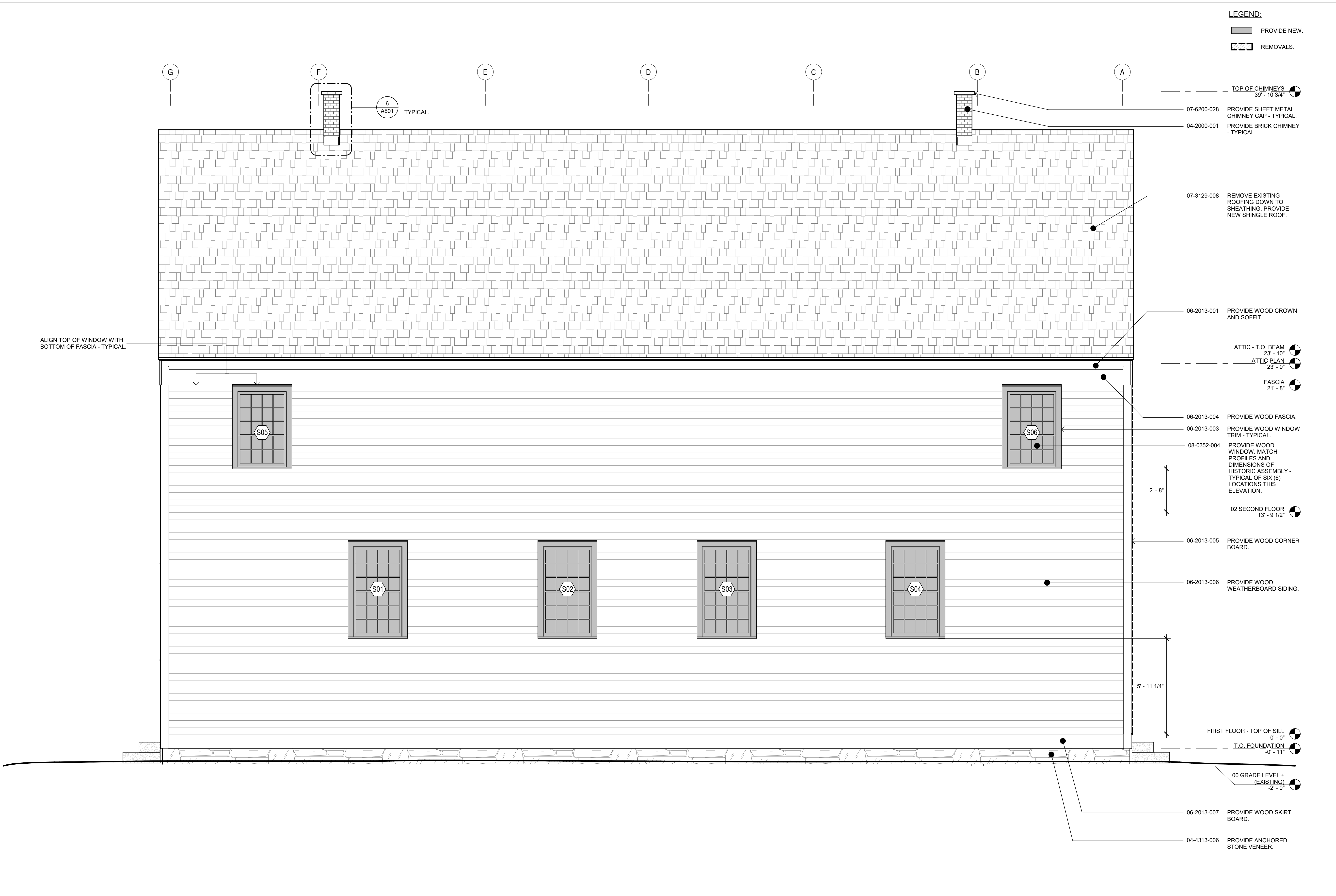
SOUTH EXTERIOR  
ELEVATION

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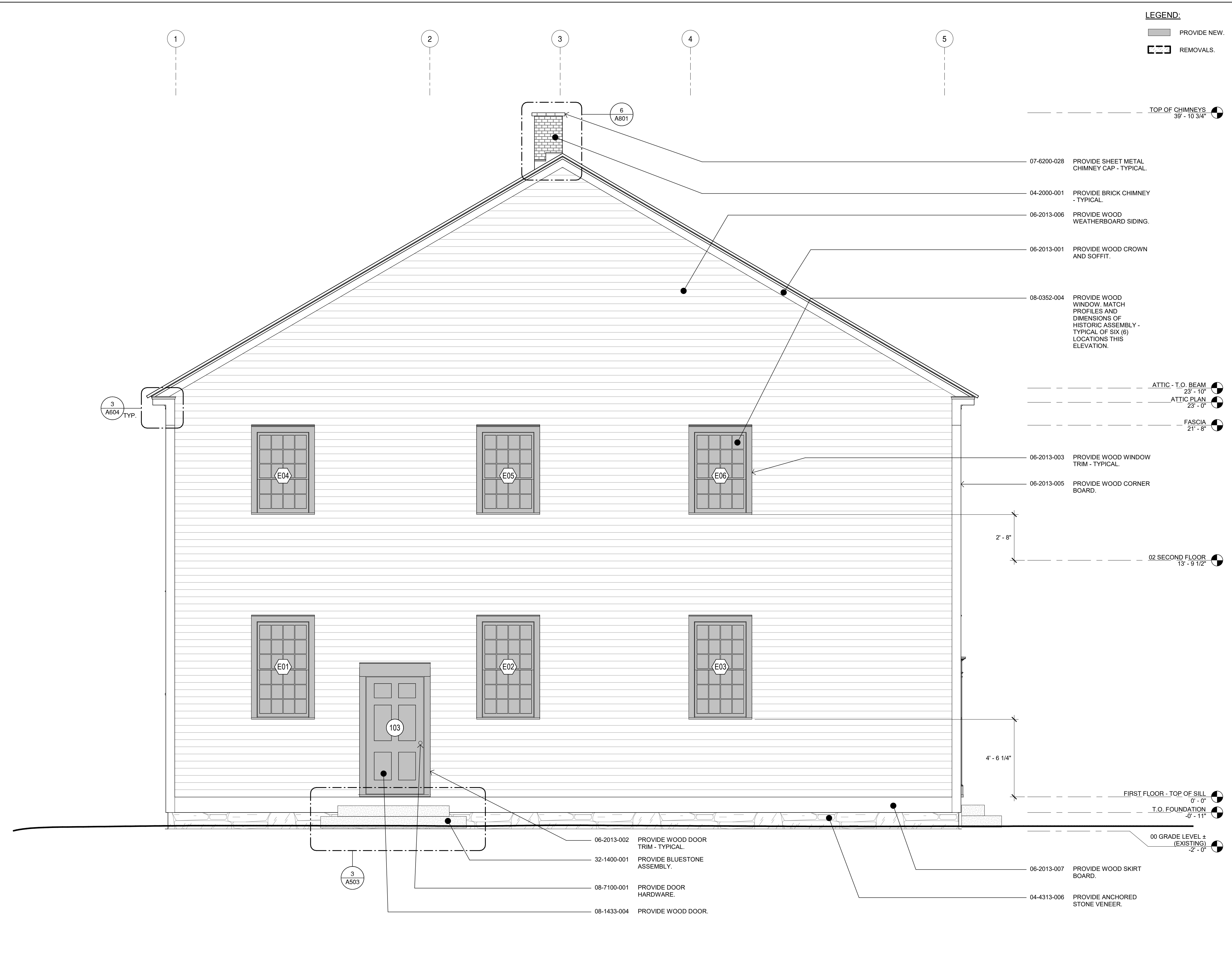
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DATE  
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REVISION NUMBER

A207

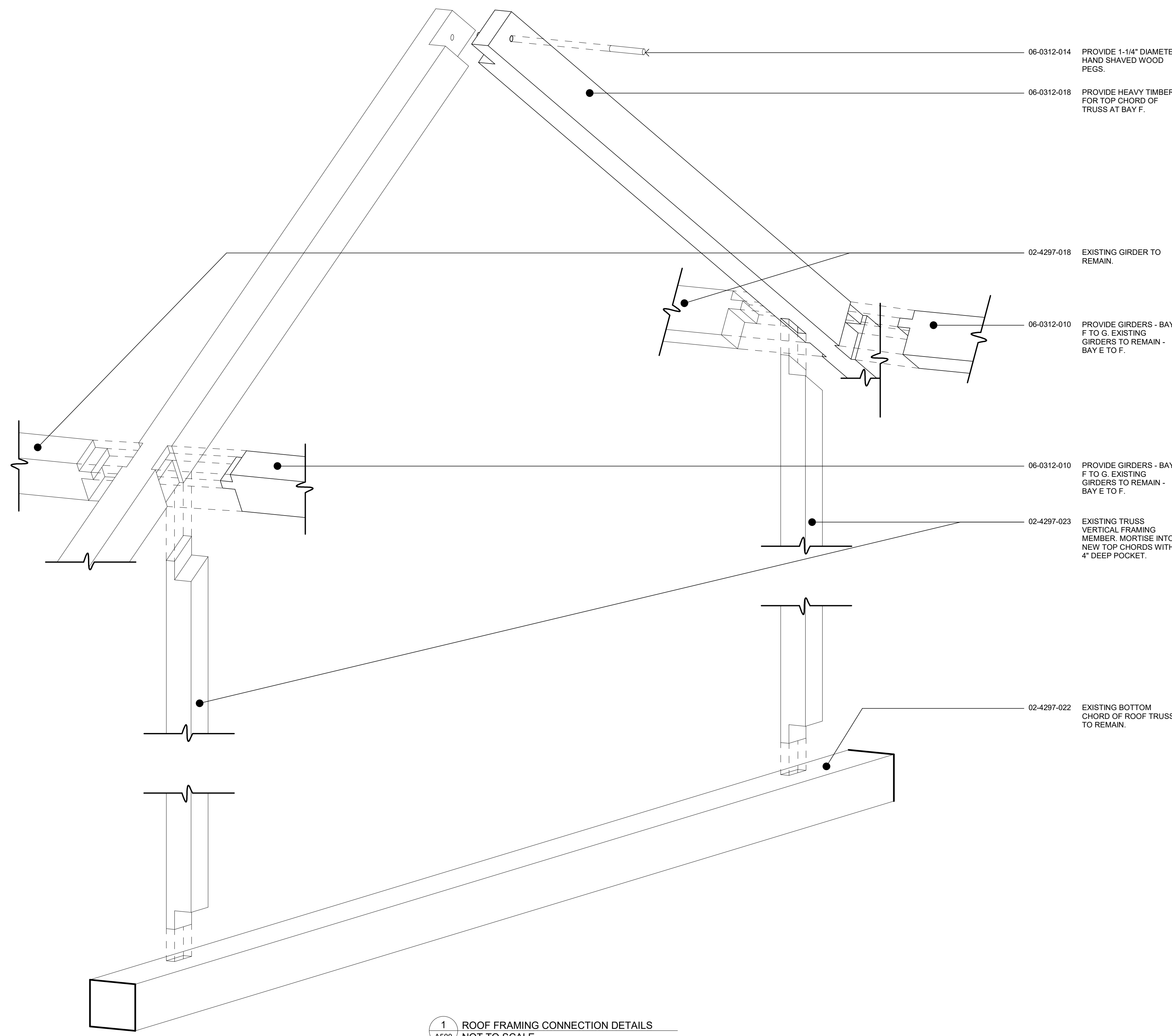


1 SOUTH EXTERIOR ELEVATION  
A207 3/8" = 1'-0"



1 EAST EXTERIOR ELEVATION  
A208 3/8" = 1'-0"





06-0312-014 PROVIDE 1-1/4" DIAMETER HAND SHAVED WOOD PEGS.

06-0312-018 PROVIDE HEAVY TIMBER FOR TOP CHORD OF TRUSS AT BAY F.

02-4297-018 EXISTING GIRDER TO REMAIN.

06-0312-010 PROVIDE GIRDERS - BAY F TO G. EXISTING GIRDERS TO REMAIN - BAY E TO F.

06-0312-010 PROVIDE GIRDERS - BAY F TO G. EXISTING GIRDERS TO REMAIN - BAY E TO F.

02-4297-023 EXISTING TRUSS VERTICAL FRAMING MEMBER. MORTISE INTO NEW TOP CHORDS WITH 4" DEEP POCKET.

02-4297-022 EXISTING BOTTOM CHORD OF ROOF TRUSS TO REMAIN.

1 ROOF FRAMING CONNECTION DETAILS  
A500 NOT TO SCALE

A500

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NOT FOR CONSTRUCTION

FRAMING DETAILS -  
RAFTERS

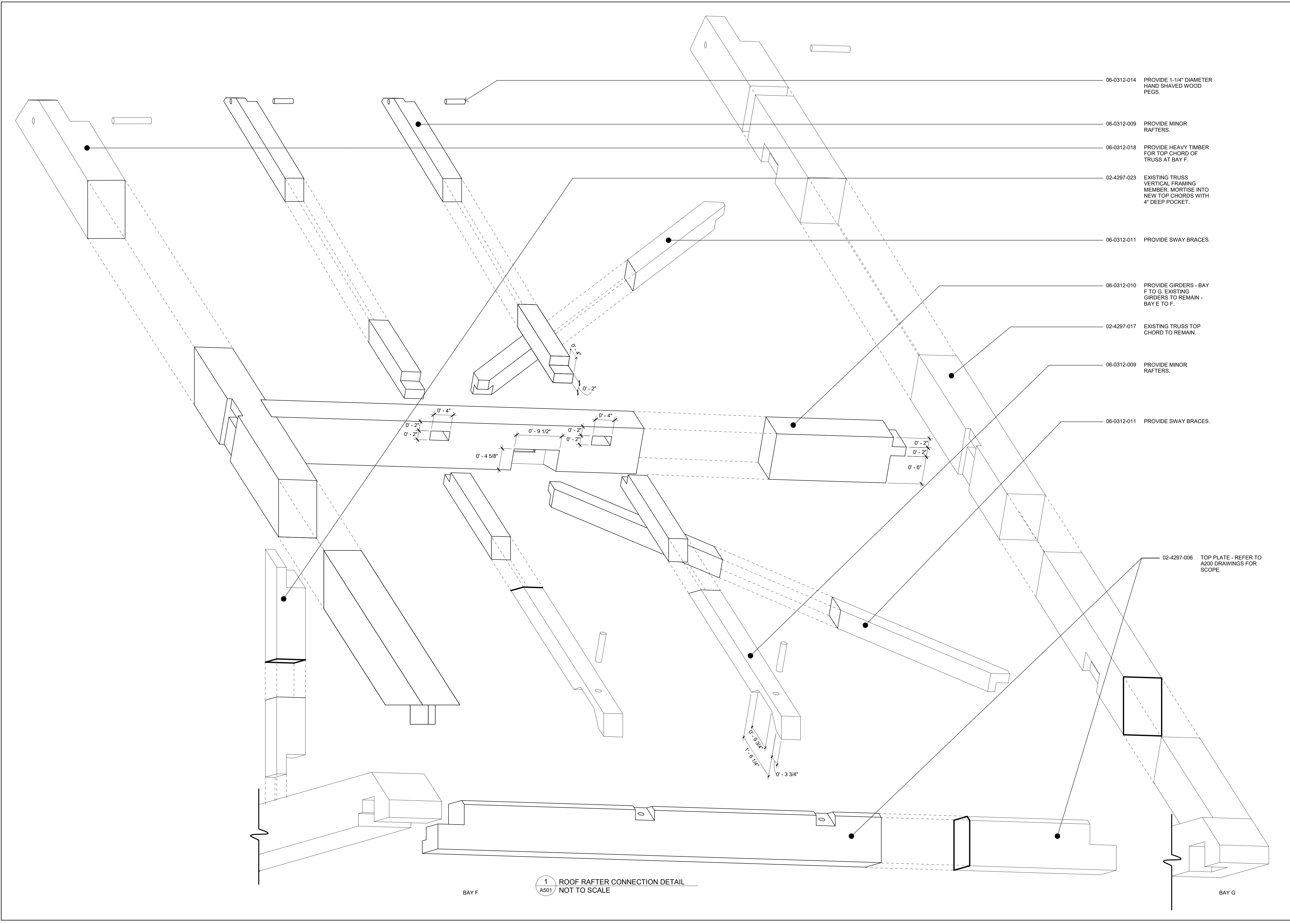
**Architects**  
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518-449-3440 tel  
518-449-3528 fax

64 Fulton Street, Suite 402  
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212-619-8882 fax

1816 FARMINGTON MEETINGHOUSE  
EXTERIOR RESTORATION  
230 SHELDON ROAD  
FARMINGTON, NY 14425

SCALE	AS INDICATED
DATE	2022-23C
DRAWN BY	Author
DATE	OCTOBER 23, 2023
REVISION NUMBER	

A500



06-0312-014 PROVIDE 1-1/4" DIAMETER HAND SHAVED WOOD PEGS.

06-0312-009 PROVIDE MINOR RAFTERS.

06-0312-018 PROVIDE HEAVY TIMBER FOR TOP CHORD OF TRUSS AT BAY F.

02-4297-023 EXISTING TRUSS VERTICAL FRAMING MEMBER. MORTISE INTO NEW TOP CHORDS WITH 4" DEEP POCKET.

06-0312-011 PROVIDE SWAY BRACES.

06-0312-010 PROVIDE GIRDERS - BAY F TO G. EXISTING GIRDERS TO REMAIN - BAY E TO F.

02-4297-017 EXISTING TRUSS TOP CHORD TO REMAIN.

06-0312-009 PROVIDE MINOR RAFTERS.

06-0312-011 PROVIDE SWAY BRACES.

02-4297-006 TOP PLATE - REFER TO A200 DRAWINGS FOR SCOPE.

1 ROOF RAFTER CONNECTION DETAIL  
A501 NOT TO SCALE

A501

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NOT FOR CONSTRUCTION

FRAMING DETAIL - ROOF FRAMING

**Architects**  
John G. Waite Associates, PLLC  
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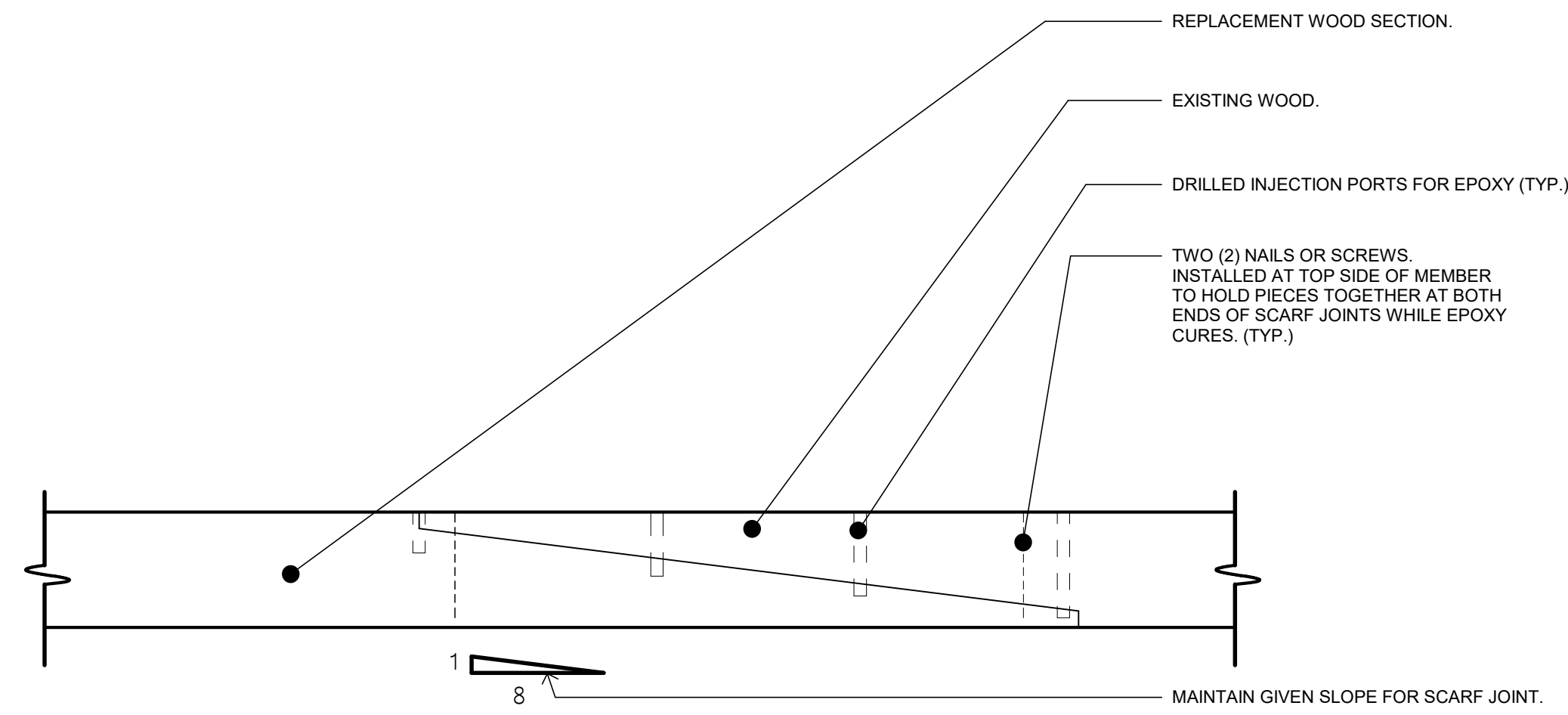
1816 FARMINGTON MEETINGHOUSE  
EXTERIOR RESTORATION  
230 SHELDON ROAD  
FARMINGTON, NY 14425

SCALE AS INDICATED  
DATE 2022-23C  
DRAWN BY JDL / LV  
DATE OCTOBER 23, 2023  
REVISION NUMBER

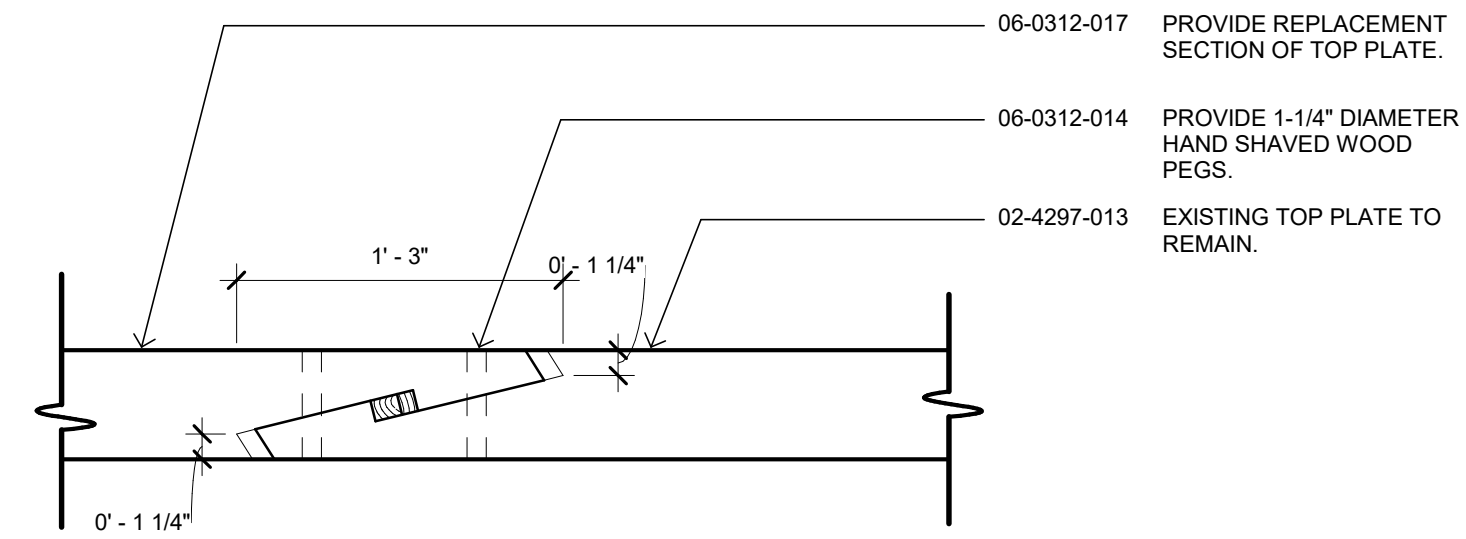
A501

**GENERAL NOTE:**

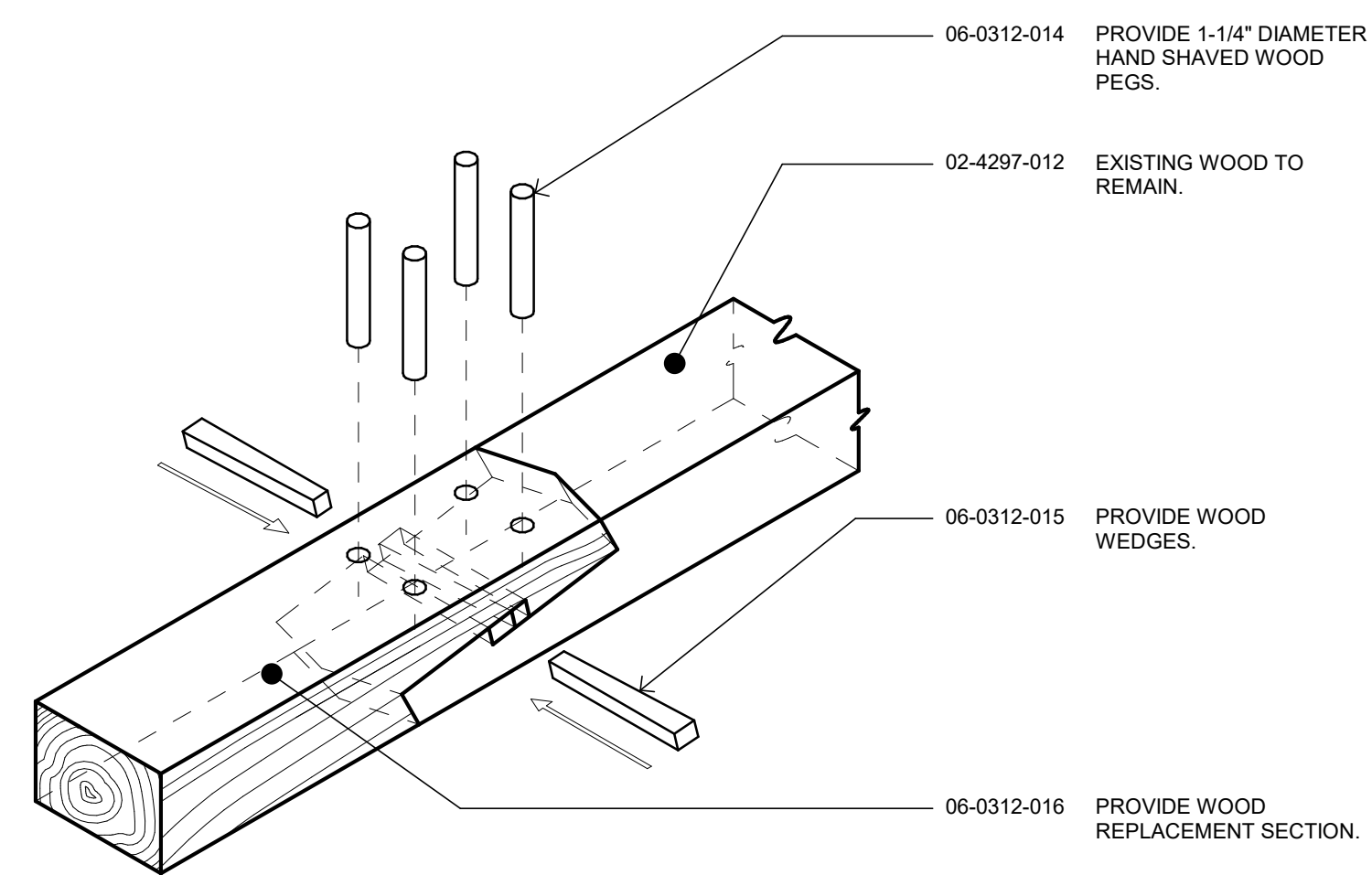
1.) ALL CONNECTIONS ARE OPPOSITE HAND SIMILAR.



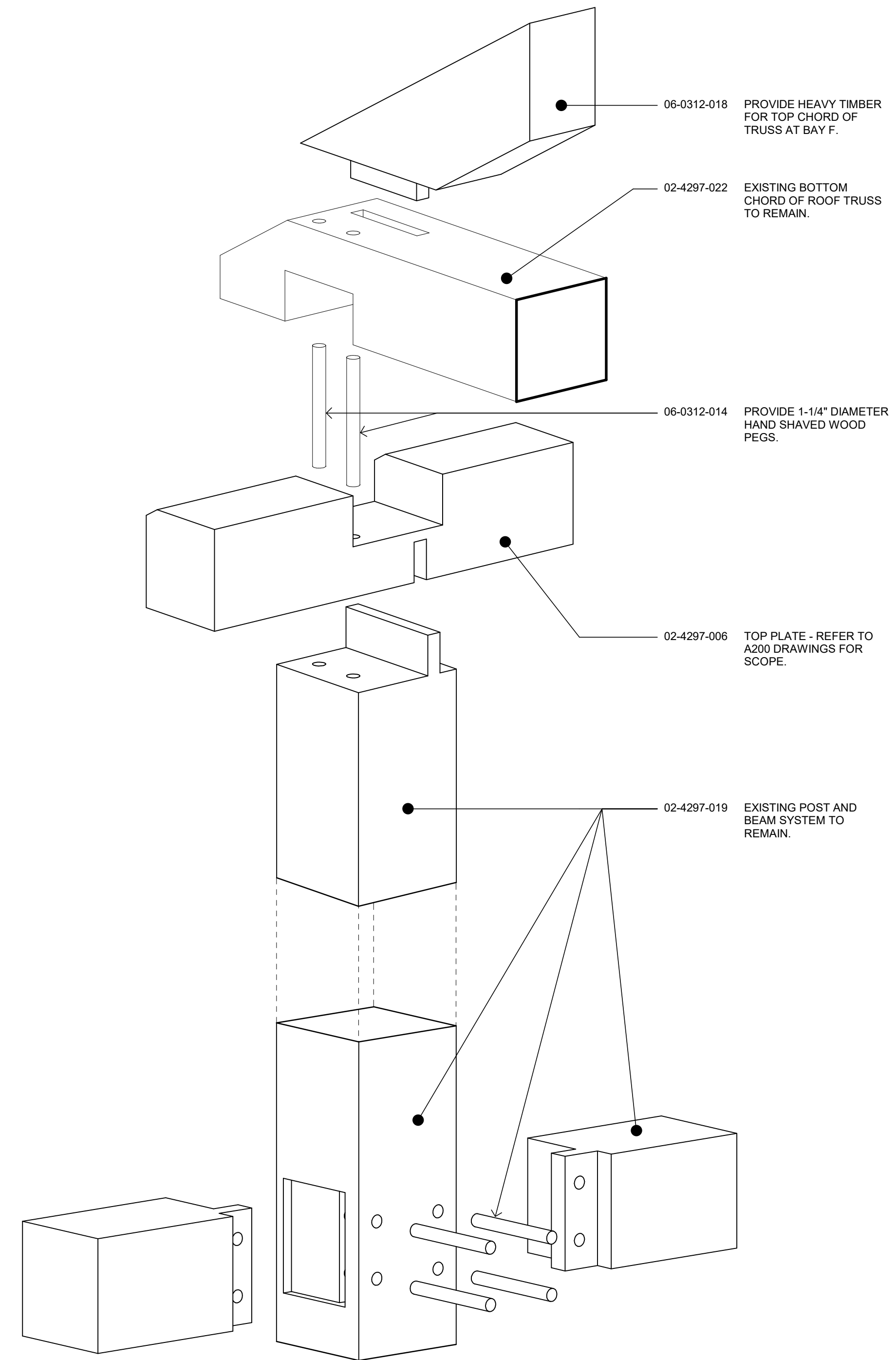
1 TYPICAL SCARF JOINT - SIDE ELEVATION  
1 1/2" = 1'-0"



2 TYPICAL SCARF JOINT - FACE ELEVATION  
1 1/2" = 1'-0"



3 TYPICAL SCARF JOINT - AXONOMETRIC  
1 1/2" = 1'-0"



4 POST, SILL, AND BEAM CONNECTION DETAIL  
1 1/2" = 1'-0"

A502

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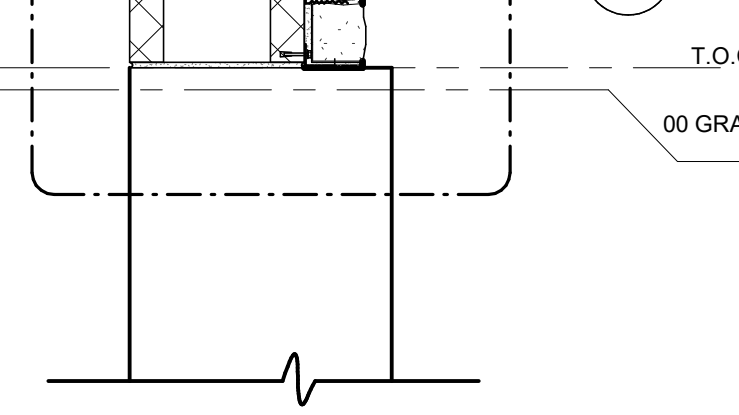
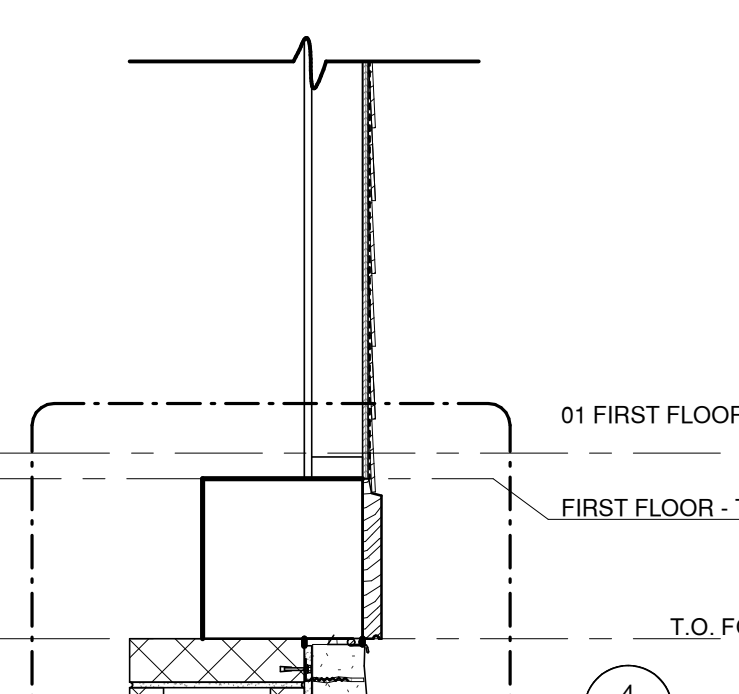
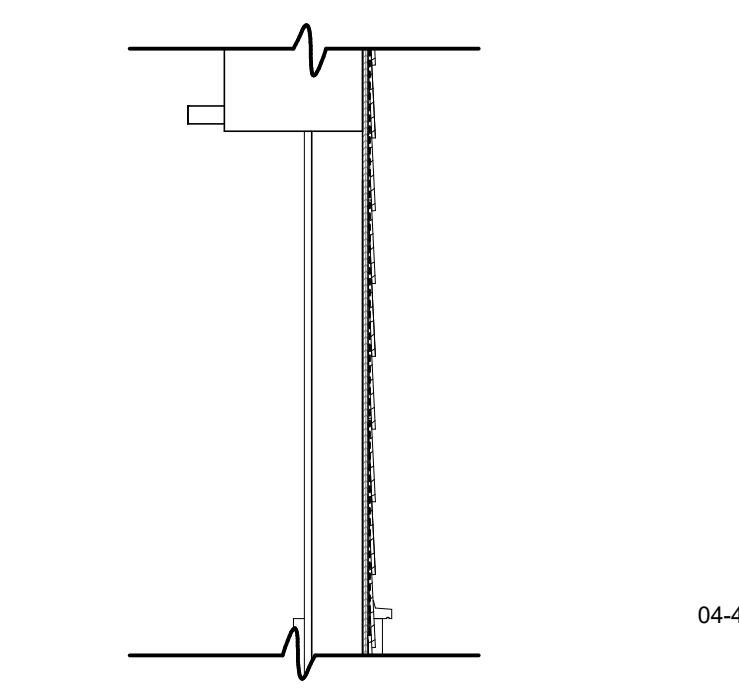
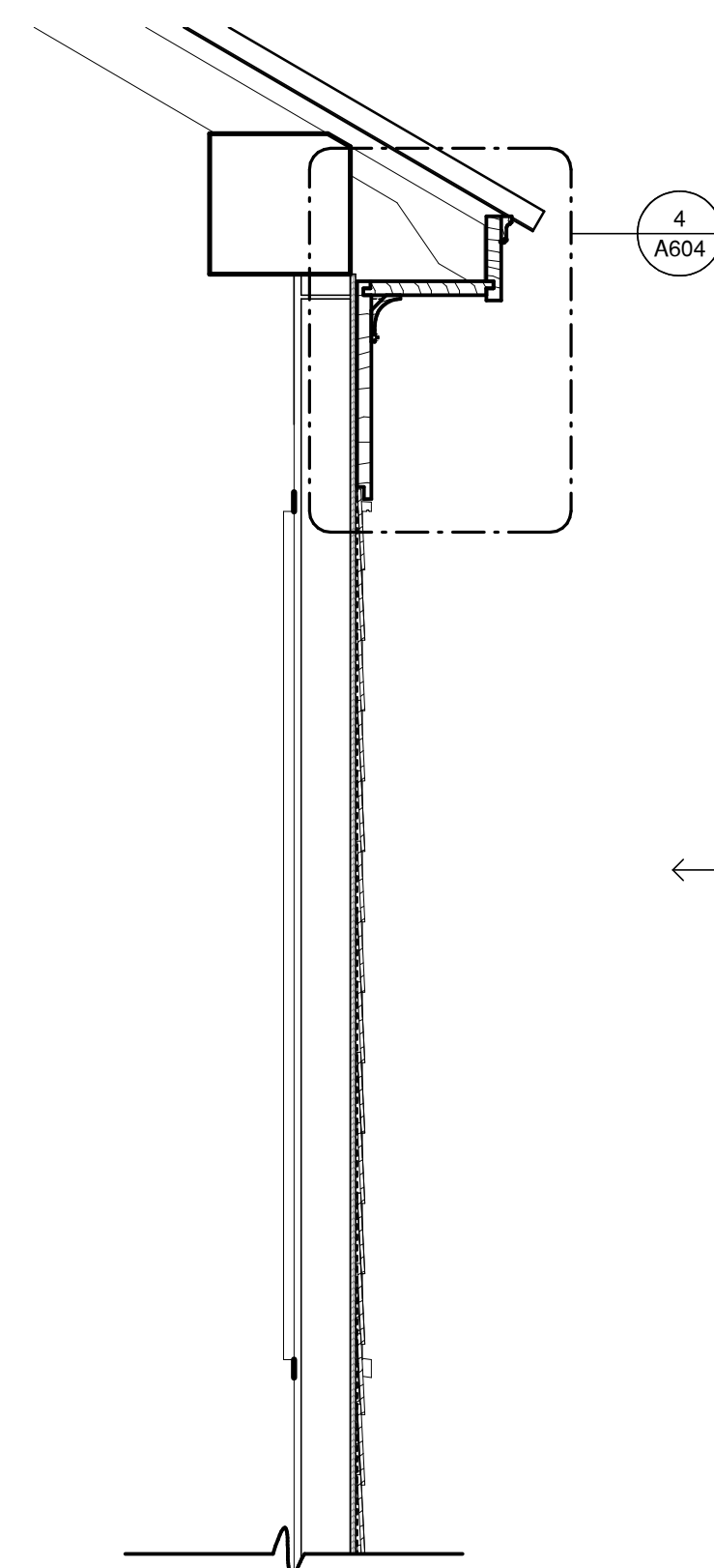
FRAMING DETAILS

**Architects**  
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212.619.8682 fax

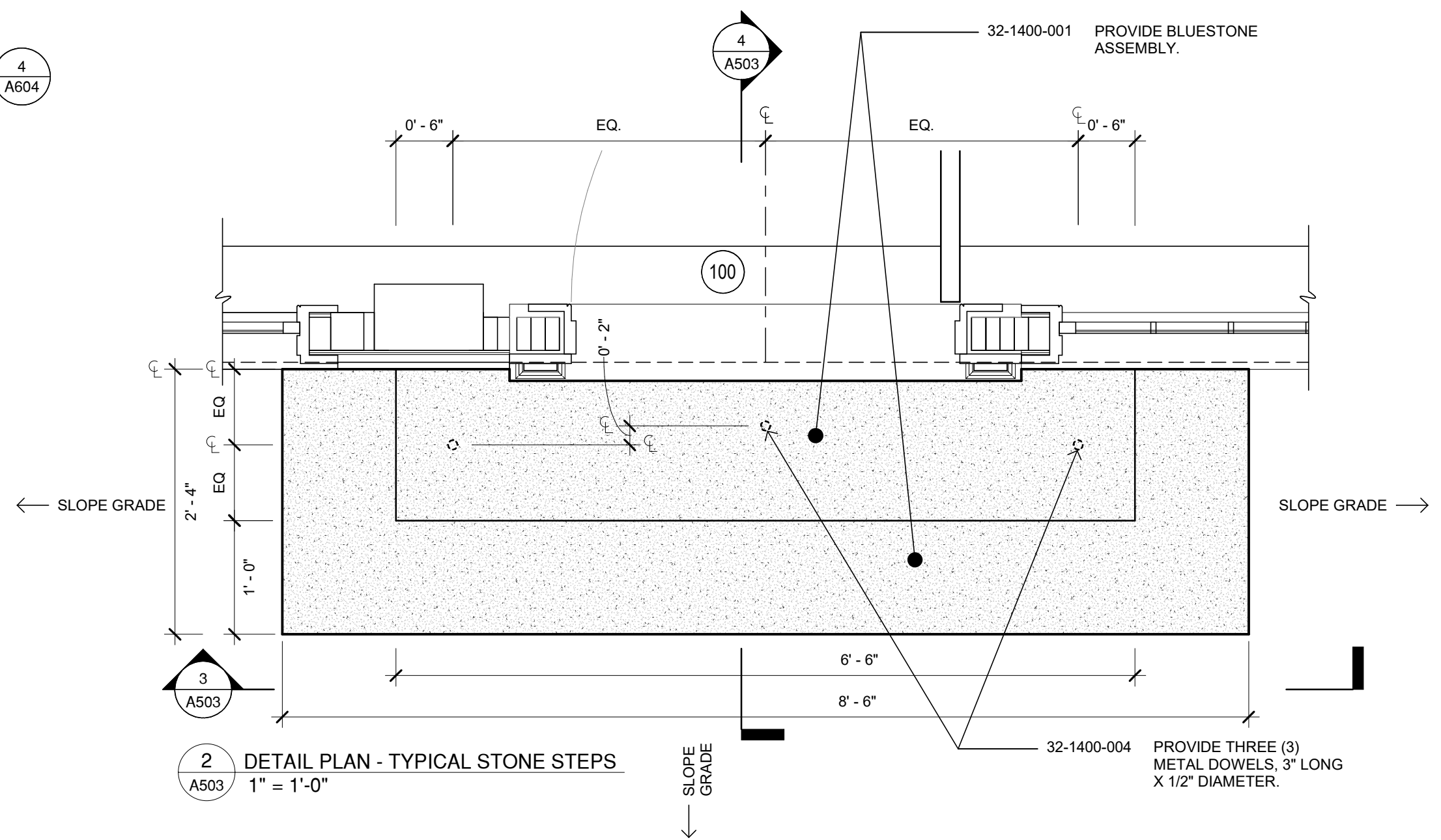
1816 FARMINGTON MEETINGHOUSE  
EXTERIOR RESTORATION  
230 SHELDON ROAD  
FARMINGTON, NY 14425

SCALE  
AS INDICATED  
DATE  
2022-23C  
DRAWN BY  
LV  
DATE  
OCTOBER 23, 2023  
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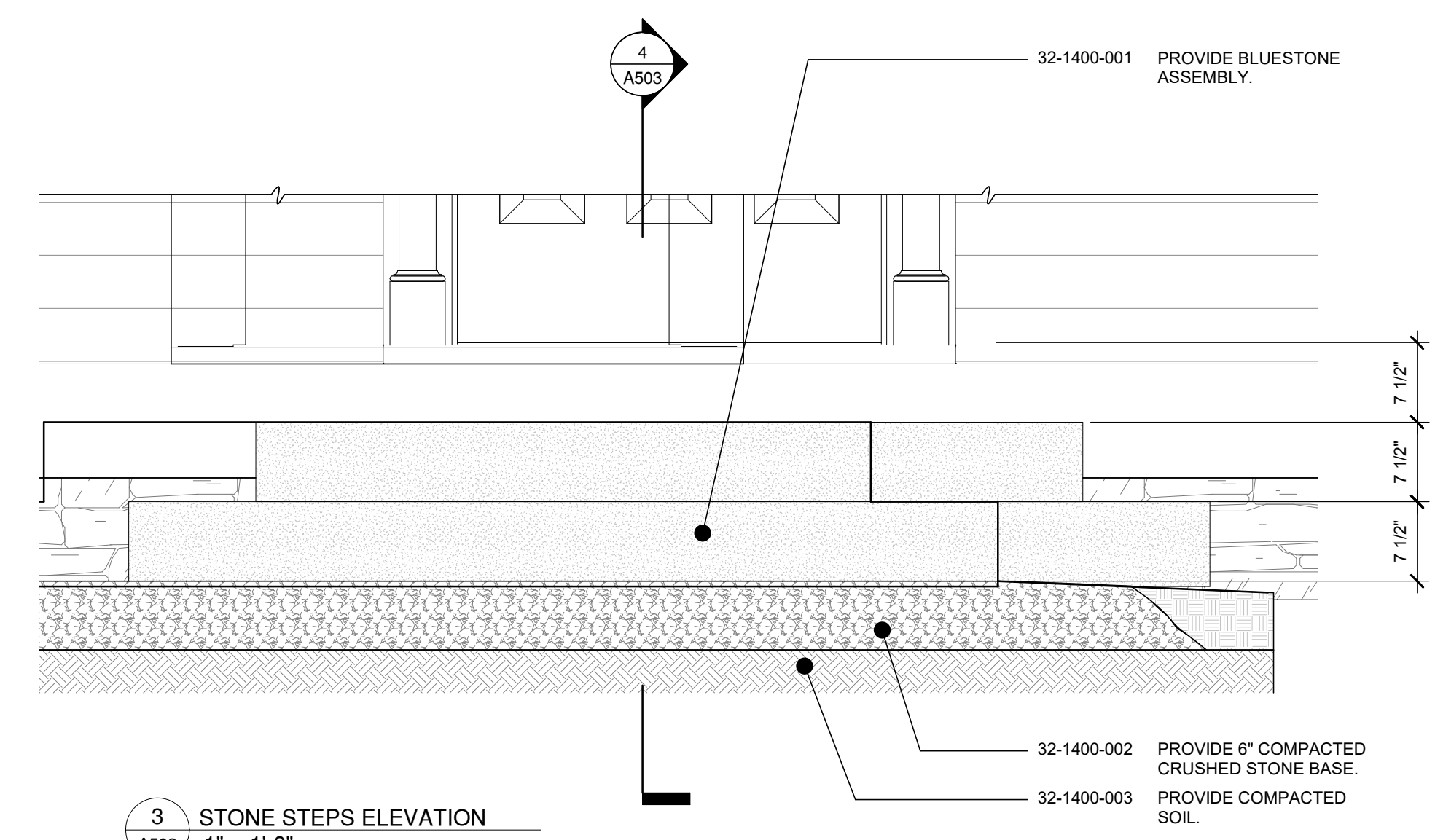
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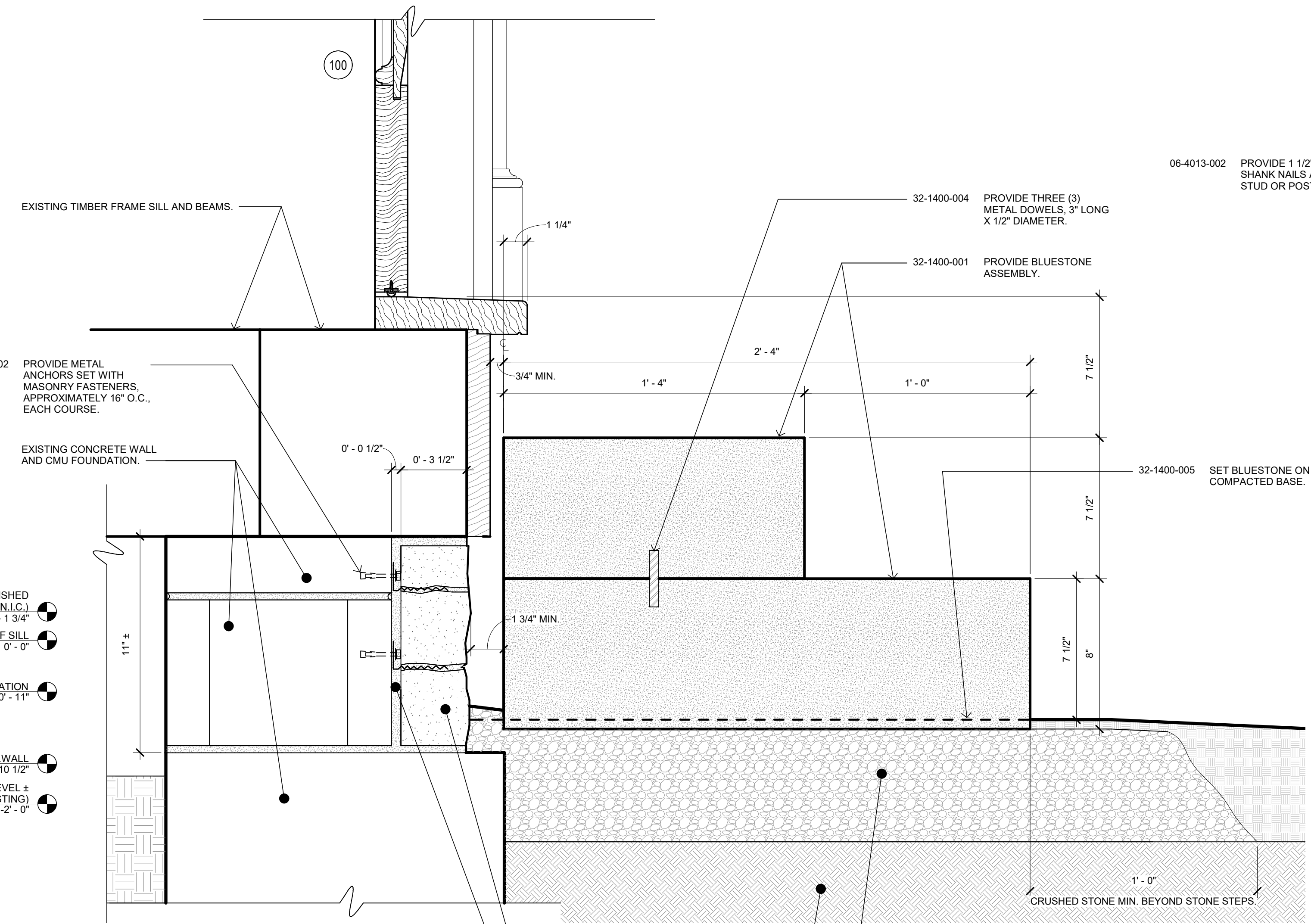
1 TYPICAL WALL SECTION  
1" = 1'-0"



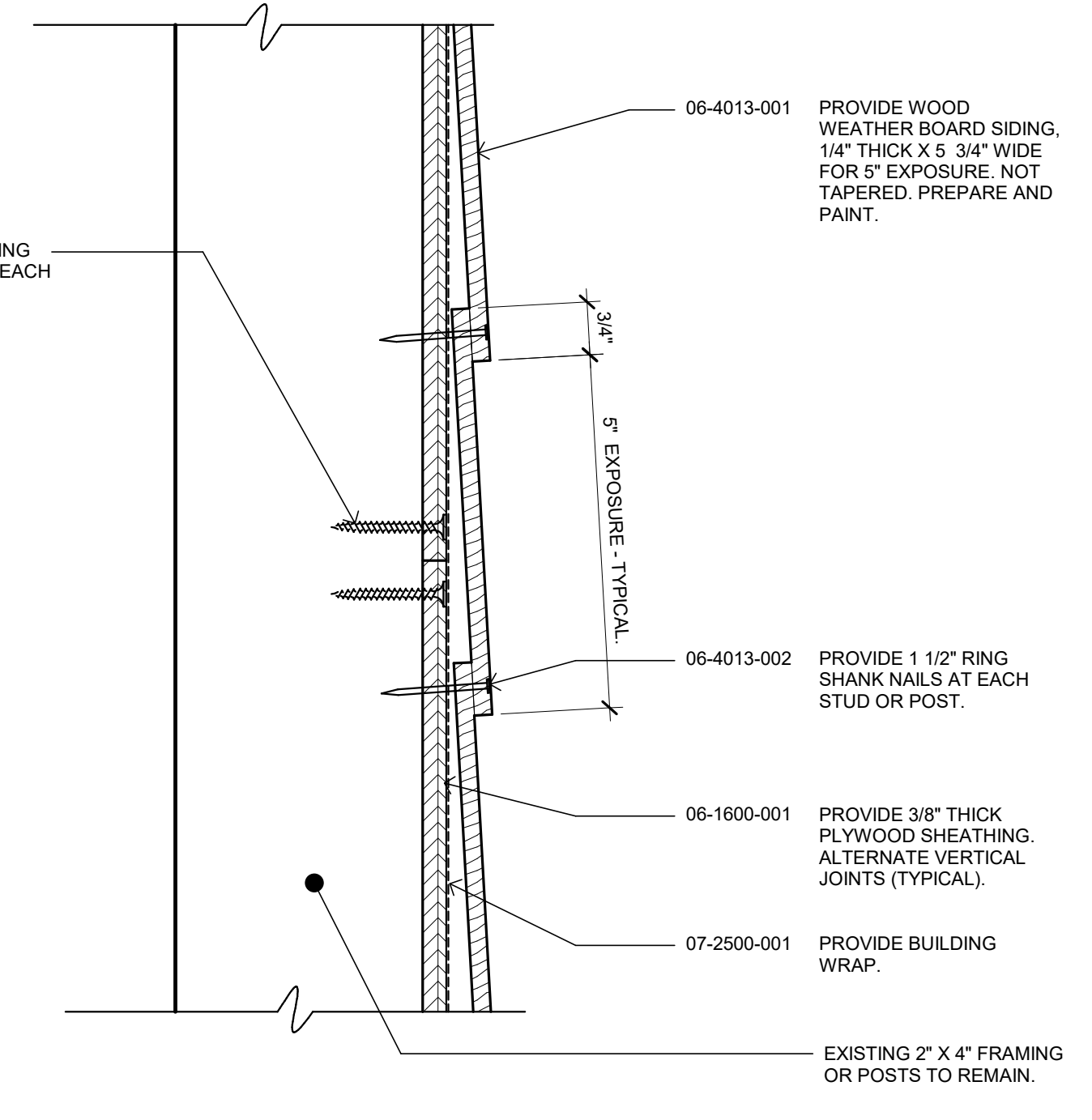
2 DETAIL PLAN - TYPICAL STONE STEPS  
1" = 1'-0"



3 STONE STEPS ELEVATION  
1" = 1'-0"



4 DETAIL SECTION - STONE STEPS  
3" = 1'-0"



5 TYPICAL EXTERIOR WALL AND WEATHER BOARD SIDING DETAIL  
6" = 1'-0"

A503

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TYPICAL WALL SECTION AND STONE DETAILS

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316-449-3626 fax

1816 FARMINGTON MEETINGHOUSE  
EXTERIOR RESTORATION  
230 SHELDON ROAD  
FARMINGTON, NY 14425

SCALE: As Indicated  
DATE: 2022-23C  
DESIGNED BY: Author  
DATE: OCTOBER 23, 2023  
REVISION NUMBER:

A503



## WINDOW SCHEDULE

WINDOW NUMBER	WINDOW TYPE	WINDOW OPENING			FRAME SCOPE	DETAIL	WINDOW RESTORATION KEYNOTE NUMBER								REMARKS	WINDOW NUMBER	
		SCOPE	SASH INVENTORY NUMBER	SCOPE			NO.1	NO.2	NO.3	NO.4	NO.5	NO.6	NO.7	NO.8			
FIRST FLOOR - TOP OF SILL																	
E01	A	EXST / NEW	#25 / NEW	NEW	1/A600	•	-	-	•	•	•	-	•	•	PROVIDE TWELVE (12) PANES OF GLASS. PROVIDE DUTCHMAN REPAIR (8" LONG BY FULL WIDTH) AT BOTTOM RAIL AND MUNTIN CONNECTION. REMOVE EXTRANEOUS WOOD AT BOTTOM RAIL. REPLACE BOTTOM RAIL-SIDE RAIL CORNERS ON BOTH SIDES (3" LONG AT EACH RAIL).	E01	
E02	A	EXST / EXIST	#4 / #3	NEW	1/A600	-	-	-	•	•	•	-	•	•	PROVIDE FIVE (5) PANES OF GLASS. PROVIDE DUTCHMAN (13" LONG BY FULL WIDTH) AT LEFT SIDE RAIL OF BOTTOM SASH. PROVIDE DUTCHMAN (11" LONG BY 1" WIDE) AT RIGHT SIDE RAIL AT BOTTOM SASH.	E02	
E03	A	EXST / NEW	#22 / NEW	EXIST.	1/A600	-	-	-	•	•	•	-	-	-	AT UPPER SASH, SALVAGE, DISASSEMBLE, AND REASSEMBLE. PROVIDE FIVE (5) PANES OF GLASS. PROVIDE DUTCHMAN REPAIR (3" LONG BY FULL WIDTH) AT MUNTIN.	E03	
N01	A	EXST / EXIST	#5 / #7	NEW	1/A600	-	•	•	•	•	•	•	•	•	PROVIDE FIFTEEN (15) PANES OF GLASS. AT BOTTOM SASH, PROVIDE DUTCHMAN REPAIR (12" LONG BY 1" WIDE BY FULL DEPTH) AT RAIL AND TOP RAIL (5" LONG BY 1/2" DEEP). REPAIR RABBETS AT THREE (3) MUNTINS. REPLACE FIVE (5) MUNTINS. RESECURE INTERIOR RIGHT CORNER.	N01	
N02	A	EXST / NEW	#6 / NEW	NEW	1/A600	-	-	-	•	•	-	-	-	-	PROVIDE TWELVE (12) PANES OF GLASS. PROVIDE DUTCHMAN REPAIR (13" LONG BY 1" WIDE BY 1" DEEP) AT RIGHT SASH RAIL.	N02	
N03	A	EXST / NEW	#8 / NEW	NEW	1/A600	-	-	-	-	-	-	-	-	-	PROVIDE THREE (3) PANES OF GLASS.	N03	
N04	A	EXST / EXIST	#9 / #10	NEW	1/A600	•	•	•	•	•	•	•	•	•	PROVIDE TWENTY-FOUR (24) PANES OF GLASS. AT UPPER SASH, PROVIDE DUTCHMAN REPAIR (AT UPPER SASH CORNER - 3" IN EACH DIRECTION) AND LOWER SASH (2" LONG BY 1" WIDE AT BOTTOM RAIL INCLUDING CONNECTION). AT UPPER SASH, PROVIDE ALL HORIZONTAL MUNTINS AND ONE (1) VERTICAL ROW OF MUNTINS. REPLACE RABBETS AT THREE (3) MUNTINS. AT LOWER SASH, REPLACE SIX (6) MUNTINS, BOTTOM RAIL, AND ONE (1) RABBIT.	N04	
N05	A	EXST / NEW	#11 / NEW	NEW	1/A600	•	-	-	•	-	-	-	•	•	PROVIDE TWELVE (12) PANES OF GLASS AT UPPER SASH. PROVIDE LEFT RAIL AND ALL MUNTINS AT UPPER SASH.	N05	
N06	A	NEW / NEW	NEW / NEW	NEW	1/A600	-	-	-	-	-	-	-	-	-	-	-	N06
S01	A	EXST / EXIST	#19 / #19	EXIST.	1/A600	-	-	-	•	•	-	-	-	-	SALVAGE WINDOW ASSEMBLY. PROVIDE ONE (1) PANE OF GLASS. PROVIDE DUTCHMAN REPAIR (8" LONG BY FULL WIDTH) AT LOWER SASH MUNTIN. PATCH CRACKED WOOD AT BOTTOM RAIL. REPLACE RUSTED SPRING BOLTS AT UPPER AND LOWER SASH.	S01	
S02	A	NEW / NEW	NEW / NEW	NEW	1/A600	-	-	-	-	-	-	-	-	-	-	-	S02
S03	A	NEW / NEW	NEW / NEW	NEW	1/A600	-	-	-	-	-	-	-	-	-	-	-	S03
S04	A	EXST / EXIST	#21 / #20	EXIST.	1/A600	-	-	-	•	-	•	-	-	-	SALVAGE WINDOW ASSEMBLY. PROVIDE DUTCHMAN REPAIR (4" LONG BY FULL DEPTH) AT MUNTIN AT LOWER SASH. AT UPPER SASH, PROVIDE DUTCHMAN REPAIR (2" LONG) TO ACCOMMODATE MUNTIN CONNECTION.	S04	
W01	A	NEW / NEW	NEW / NEW	NEW	1/A600	-	-	-	-	-	-	-	-	-	-	-	W01
W02	A	NEW / NEW	NEW / NEW	NEW	1/A600	-	-	-	-	-	-	-	-	-	-	-	W02
W03	A	NEW / NEW	NEW / NEW	NEW	1/A600	-	-	-	-	-	-	-	-	-	-	-	W03
02 SECOND FLOOR																	
E04	B	EXST / EXIST	#2 / #13	NEW	1/A601	-	-	•	•	•	•	-	•	•	PROVIDE THIRTEEN (13) PANES OF GLASS. REPAIR TWO (2) BROKEN RABBETS AT LOWER SASH. PROVIDE DUTCHMAN AT SASH CORNER, 3" LONG AT LEFT INTERIOR RAIL AND LOWER RAIL. PROVIDE DUTCHMAN REPAIR (6" LONG BY 1" WIDE) AT BOTTOM INTERIOR RAIL AT MUNTIN CONNECTION.	E04	
E05	B	NEW / EXST	NEW / #26	NEW	1/A601	-	•	-	-	•	•	-	•	•	PROVIDE EIGHT (8) PANES OF GLASS. PROVIDE FOUR (4) HORIZONTAL MUNTINS.	E05	
E06	B	EXST / EXIST	#1 / #1	EXIST.	1/A601	•	-	-	-	-	-	-	-	-	SALVAGE WINDOW ASSEMBLY. PROVIDE EIGHTEEN (18) PANES OF GLASS. AT UPPER SASH, PROVIDE FIVE (5) HORIZONTAL MUNTINS AND ONE (1) VERTICAL MUNTIN. AT LOWER SASH, DISASSEMBLE AND REASSEMBLE UPPER SASH.	E06	
N07	B	EXST / EXIST	#12 / #14	NEW	1/A601	•	•	•	•	•	•	•	•	•	PROVIDE TWENTY (20) PANES OF GLASS. AT UPPER SASH, PROVIDE THREE MUNTINS. PROVIDE DUTCHMAN REPAIR AT ONE (1) RABBIT. PROVIDE DUTCHMAN REPAIR (1" LONG BY FULL WIDTH) AT UPPER SASH RAIL. AT LOWER SASH, PROVIDE TEN (10) MUNTINS.	N07	
N08	B	EXST / EXIST	#16 / #15	NEW	1/A601	•	•	-	•	•	•	-	•	•	PROVIDE TWENTY (20) PANES OF GLASS. AT UPPER SASH, PROVIDE ALL MUNTINS. DISASSEMBLY AND REASSEMBLE UPPER SASH. PROVIDE DUTCHMAN REPAIR (6" LONG) AT SIDE RAIL CORNER. AT LOWER SASH, RESECURE EXTERIOR LEFT CORNER. PROVIDE DUTCHMAN REPAIR (6" LONG BY 1/2" WIDE BY FULL DEPTH) AT MEETING RAIL. PROVIDE FOUR (4) MUNTINS AT LOWER SASH.	N08	
N09	B	EXST / NEW	#17 / NEW	NEW	1/A601	•	-	-	•	•	-	-	•	•	PROVIDE TWELVE (12) PANES OF GLASS. PROVIDE EIGHT (8) MUNTINS. REMOVE EXTRANEOUS WOOD ATTACHED TO SASH. PROVIDE DUTCHMAN REPAIR (2" LONG BY 1/2" WIDE) AT BOTTOM RAIL.	N09	
N10	B	EXST / NEW	#18 / NEW	NEW	1/A601	•	-	-	•	•	-	-	•	•	PROVIDE TWELVE (12) PANES OF GLASS. PROVIDE FIVE (5) HORIZONTAL MUNTINS AND SIX (6) VERTICAL MUNTINS. PROVIDE DUTCHMAN REPAIR AT MEETING RAIL (1" LONG BY FULL WIDTH) AND SIDE RAIL (2" LONG BY FULL WIDTH) CORNER CONNECTION.	N10	
N11	B	NEW / EXST	NEW / #27	NEW	1/A601	-	•	-	•	•	-	-	•	•	PROVIDE EIGHT (8) PANES OF GLASS. PROVIDE SIX (6) VERTICAL MUNTINS AND FOUR (4) HORIZONTAL MUNTINS. REPLACE BOTTOM RAIL-SIDE RAIL CORNER CONNECTION - APPROXIMATELY 3" AT EACH RAIL.	N11	
N12	B	NEW / NEW	NEW / NEW	NEW	1/A601	-	-	-	-	-	-	-	-	-	-	-	N12
S05	B	EXST / EXIST	#23 / #23	EXIST.	1/A601	•	-	-	•	•	-	-	•	•	SALVAGE WINDOW ASSEMBLY. PROVIDE NINE (9) PANES OF GLASS. AT LOWER SASH, PROVIDE DUTCHMAN REPAIR (1" LONG BY FULL WIDTH) TO ACCOMMODATE MUNTIN CONNECTION. AT UPPER SASH, REPLACE ONE (1) MUNTIN AND PROVIDE DUTCHMAN REPAIR (1" LONG BY FULL WIDTH) TO ACCOMMODATE MUNTIN CONNECTION.	S05	
S06	B	EXST / EXIST	#24 / #24	EXIST.	1/A601	•	•	-	-	-	•	•	-	-	SALVAGE WINDOW ASSEMBLY. PROVIDE TWENTY (20) PANES OF GLASS. PROVIDE TWO (2) VERTICAL MUNTINS AND EIGHT (8) HORIZONTAL MUNTINS AT LOWER SASH. PROVIDE SIX (6) VERTICAL MUNTINS AND EIGHT (8) HORIZONTAL MUNTINS AT UPPER SASH. RECONDITION SPRING BOLT AT UPPER SASH. REPLACE SPRING BOLT AT LOWER SASH.	S06	
W04	B	NEW / NEW	NEW / NEW	NEW	1/A601	-	-	-	-	-	-	-	-	-	-	-	W04
W05	B	NEW / NEW	NEW / NEW	NEW	1/A601	-	-	-	-	-	-	-	-	-	-	-	W05
W06	B	NEW / NEW	NEW / NEW	NEW	1/A601	-	-	-	-	-	-	-	-	-	-	-	W06
ATTIC - T.O. BEAM																	
W07	C	NEW	NEW / NEW	NEW	2/A601	-	-	-	-	-	-	-	-	-	-	-	W07
W08	C	NEW	NEW / NEW	NEW	2/A601	-	-	-	-	-	-	-	-	-	-	-	W08

## GENERAL NOTES - WINDOW RESTORATION:

- A. REMOVE MISCELLANEOUS FASTENERS, INCLUDING RUSTED NAILS. PATCH REMAINING HOLES.
- B. PREPARE AND PAINT ALL NEW AND RESTORED WINDOW ASSEMBLIES.
- C. HISTORIC WINDOW ASSEMBLY IN OPENING:
  1. SALVAGE WINDOW ASSEMBLY WHERE EXISTING. PROVIDE DUTCHMAN REPAIRS, CONDITION WOOD, AND FILL OPEN GRAIN. ALLOW FOR 15 INCHES OF DUTCHMAN REPAIRS PER WINDOW ASSEMBLY. PROVIDE REPLICATED WOOD COMPONENTS WHERE FULL COMPONENTS ARE MISSING. REGLAZE SASH. REUSE INTACT GLASS. REPLACE GLASS WHERE BROKEN OR MISSING. PREPARE AND PAINT FULL WINDOW ASSEMBLY. SALVAGE, RECONDITION, AND REINSTALL SPRING BOLTS. PROVIDE NEW SPRING BOLTS WHERE MISSING.
- D. OWNER-SALVAGED SASH:
  1. OWNER TO FURNISH SALVAGED SASH FROM ON-SITE STORAGE. PROVIDE DUTCHMAN REPAIRS, CONDITION WOOD, AND FILL OPEN GRAIN. PROVIDE REPLICATED WINDOW PARTS WHERE MISSING. PREPARE AND PAINT ALL SALVAGED SASH. REGLAZE SASH. ALLOW FOR 10% ADDITIONAL REPLACEMENT GLASS PANES. SALVAGE, RECONDITION, AND REINSTALL SPRING BOLTS. PROVIDE NEW SPRING BOLTS WHERE MISSING.
- E. NEW SASH, FRAMES, AND TRIM:
  1. PROVIDE NEW REPRODUCTION SASH, FRAMES, AND TRIM TO MATCH EXISTING HISTORIC WINDOW ASSEMBLIES. PROVIDE MORTISE AND TENON JOINERY WITH PEGGED JOINTS AND DOVETAILED AND PINNED JOINTS AT MEETING RAILS. PROVIDE GLAZING. PREPARE AND PAINT. PROVIDE SPRING BOLTS.
- F. INSTALLATION FOR ALL WINDOWS:
  1. WHERE HISTORIC ASSEMBLIES WERE SALVAGED BY CONTRACTOR, REINSTALL IN SAME OPENING AT RELOCATED POSITION. REFER TO FRAMING ELEVATIONS.
  2. ENSURE SMOOTH OPERATION OF ALL NEW AND RESTORED WINDOWS.

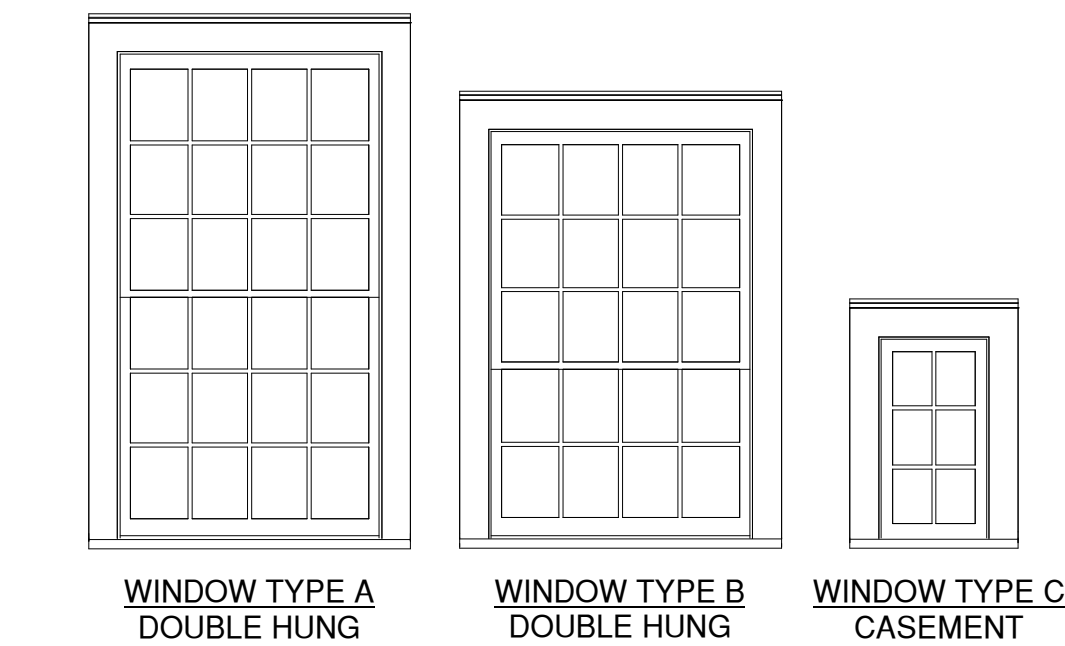
## WINDOW RESTORATION KEYNOTES:

1. PROVIDE MUNTINS FOR UPPER SASH. SEE REMARKS FOR QUANTITY.
2. PROVIDE MUNTINS FOR LOWER SASH. SEE REMARKS FOR QUANTITY.
3. REPAIR MUNTIN RABBIT. PROVIDE WOOD DUTCHMAN. SEE REMARKS FOR QUANTITY.
4. PROVIDE DUTCHMAN REPAIR. SEE REMARKS FOR QUANTITY, SIZE, AND LOCATION.
5. PROVIDE GLASS PANES. SEE REMARKS FOR QUANTITY.
6. SALVAGE AND RECONDITION HISTORIC SPRING BOLT. REINSTALL AT EXISTING HOLE IN STYLE OF HISTORIC SASH.
7. PROVIDE NEW SPRING BOLT. MATCH LOCATION OF ADJACENT HISTORIC SASH.
8. PROVIDE INTERIOR WOOD STOPS.

### WINDOW ABBREVIATION KEY:

- WINDOW OPENING SCOPE: ✓ UPPER SASH.  
✓ NEW / EXIST  
✓ LOWER SASH.
- SASH INVENTORY NUMBER: ✓ PROVIDE NEW REPRODUCTION SASH UNIT.  
✓ NEW / #20  
✓ HISTORIC SASH FURNISHED BY OWNER.
- PROVIDE WORK INDICATED. SEE REMARKS.

### WINDOW TYPES (EXTERIOR VIEWS):



A600

DRAFT

NOT FOR CONSTRUCTION

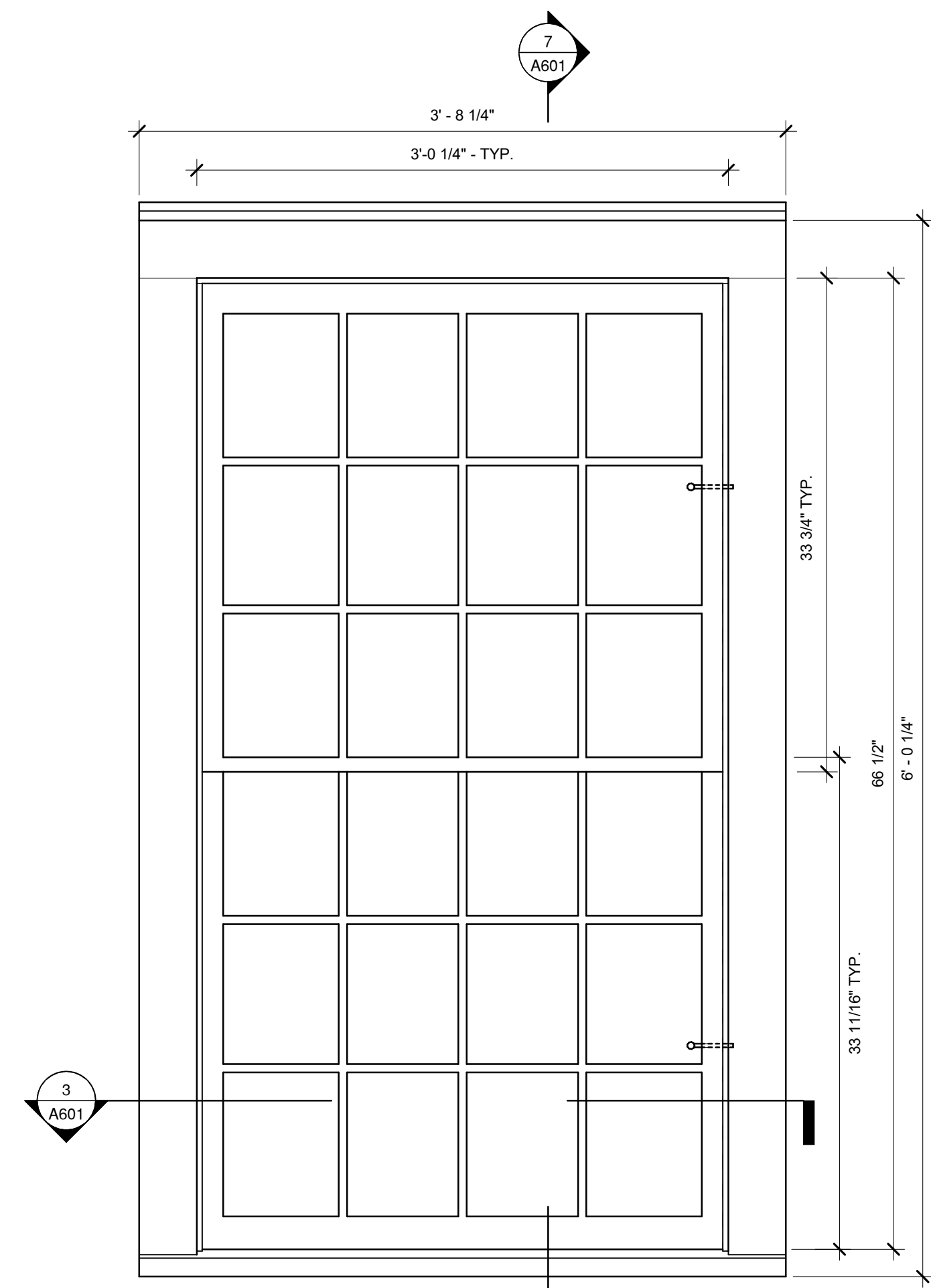
WINDOW SCHEDULE

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 518.449.3528 fax

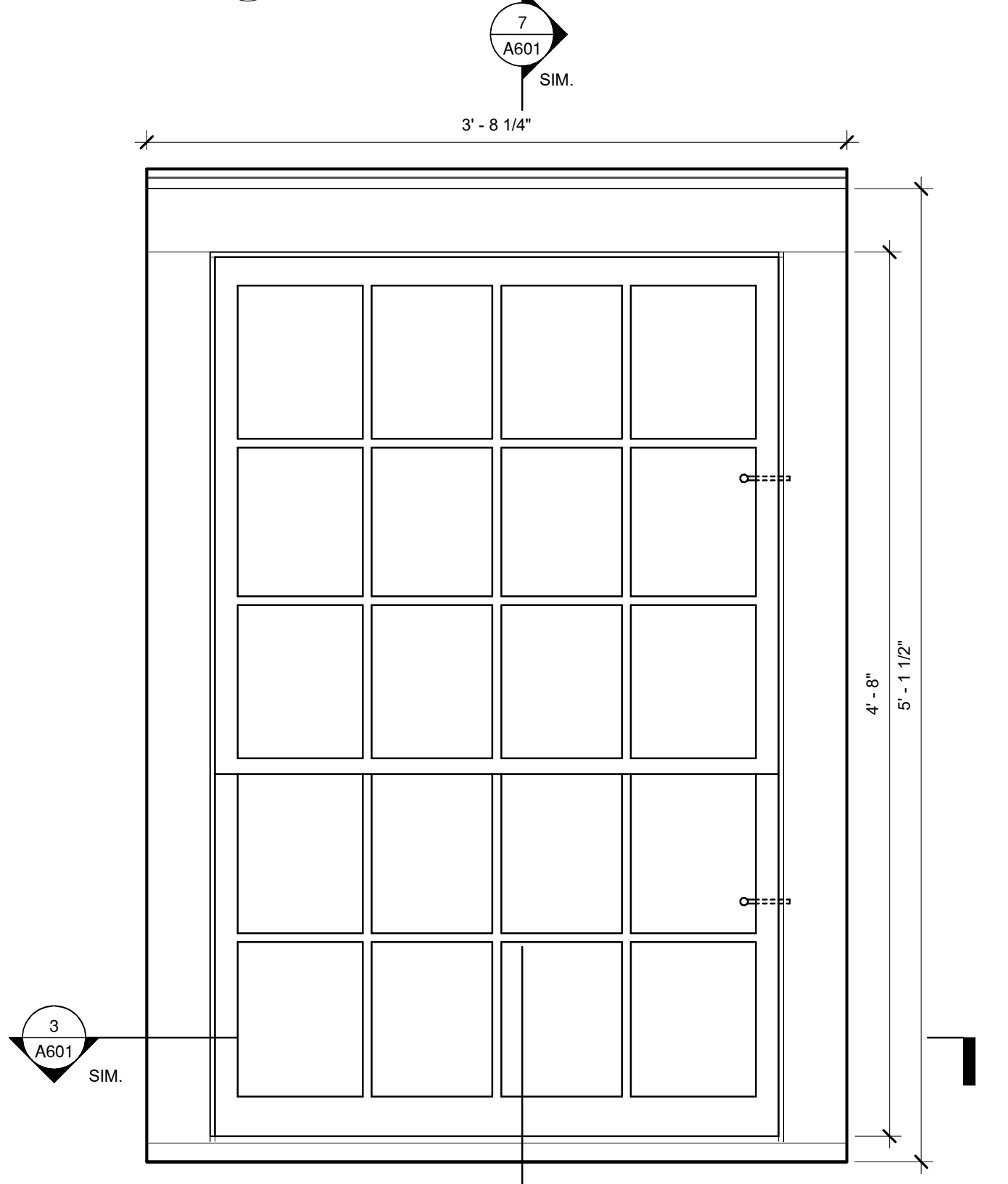
1816 FARMINGTON MEETINGHOUSE  
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 FARMINGTON, NY 14425

SCALE: AS INDICATED  
 2022-23C  
 DRAWN BY: JDL/EAS/LV  
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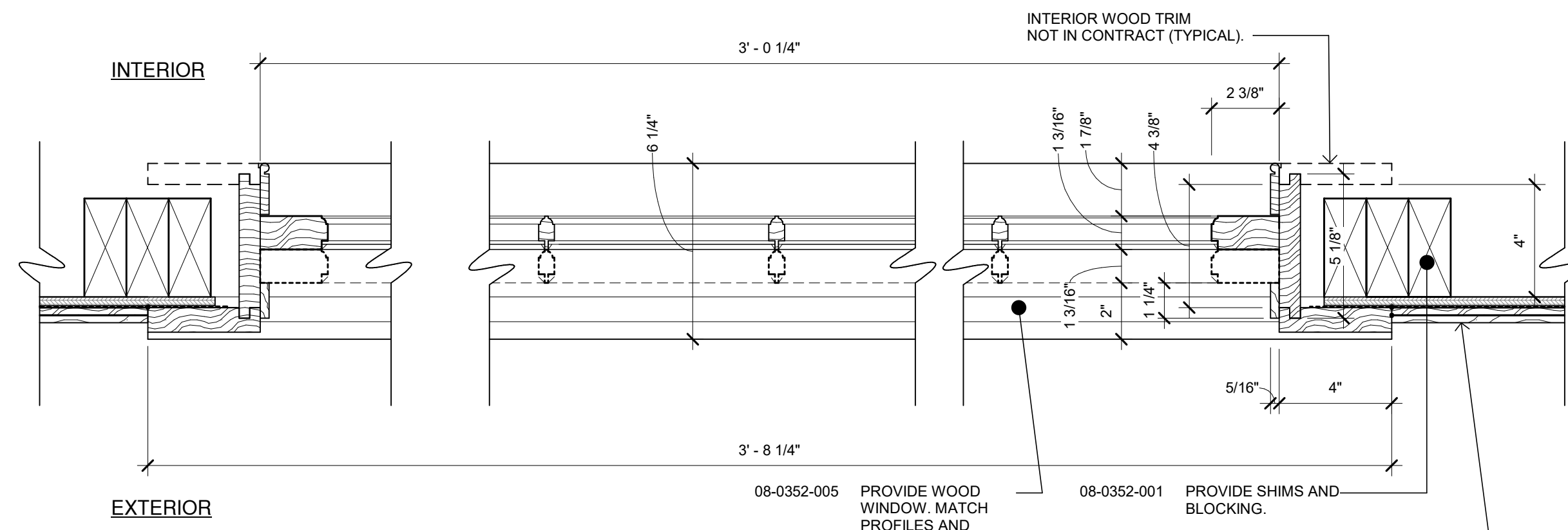
A600



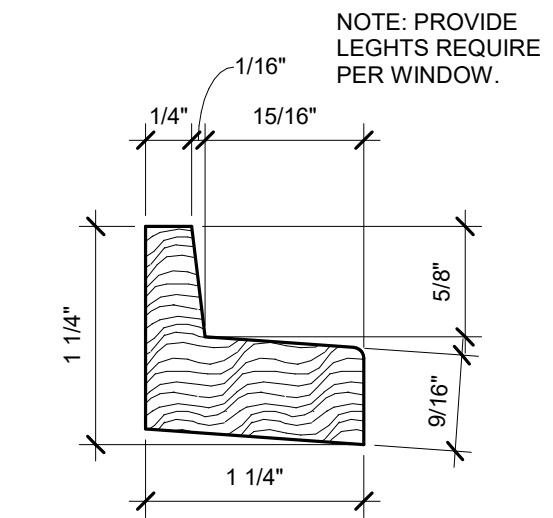
1 WINDOW TYPE A  
A601 1 1/2" = 1'-0"



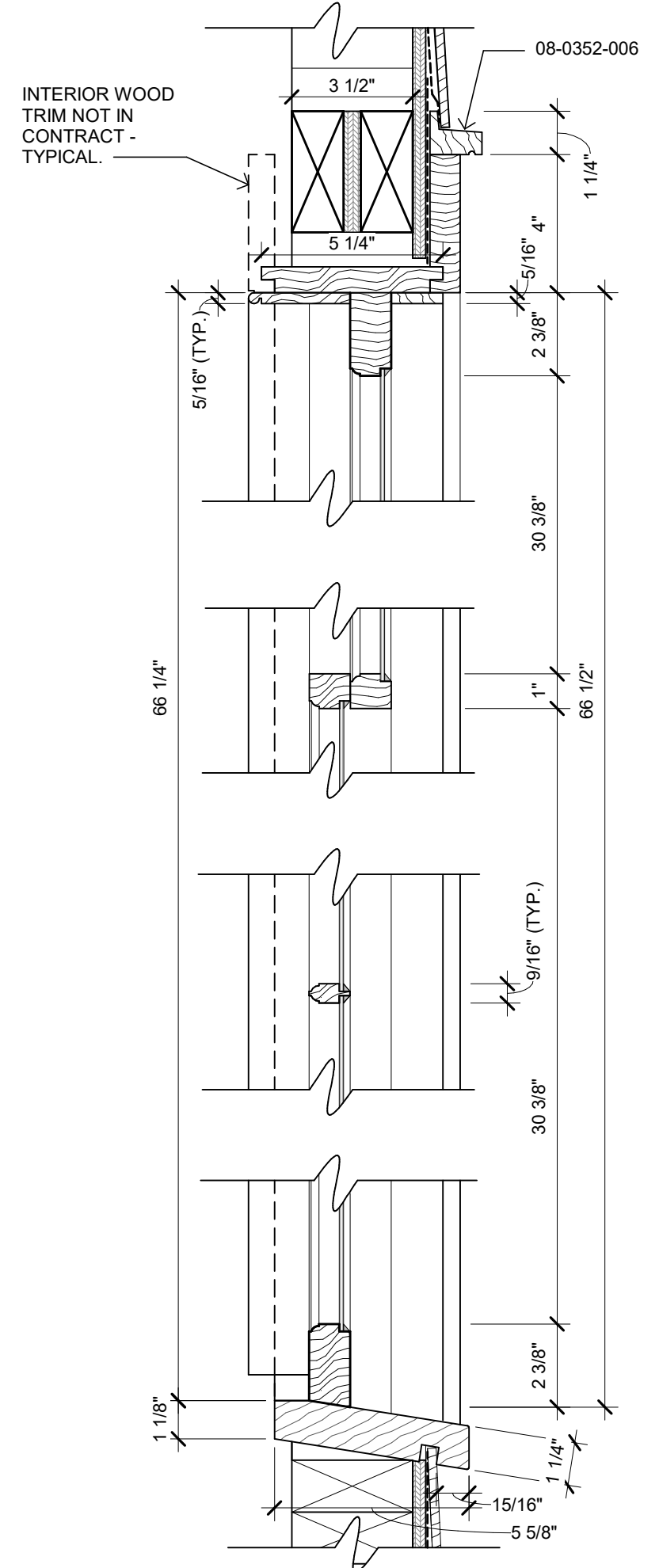
2 WINDOW TYPE B  
A601 1 1/2" = 1'-0"



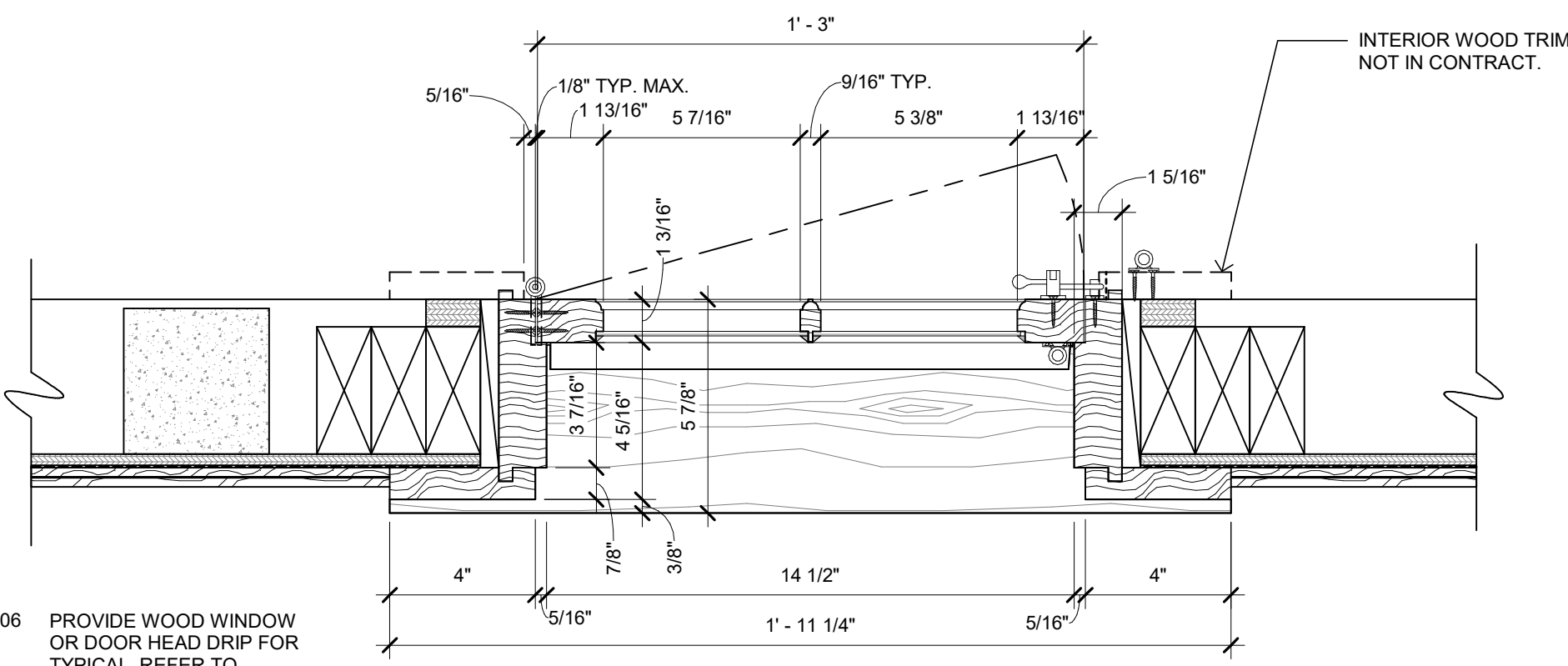
3 WINDOW TYPE A - DETAIL PLAN  
A601 3" = 1'-0"



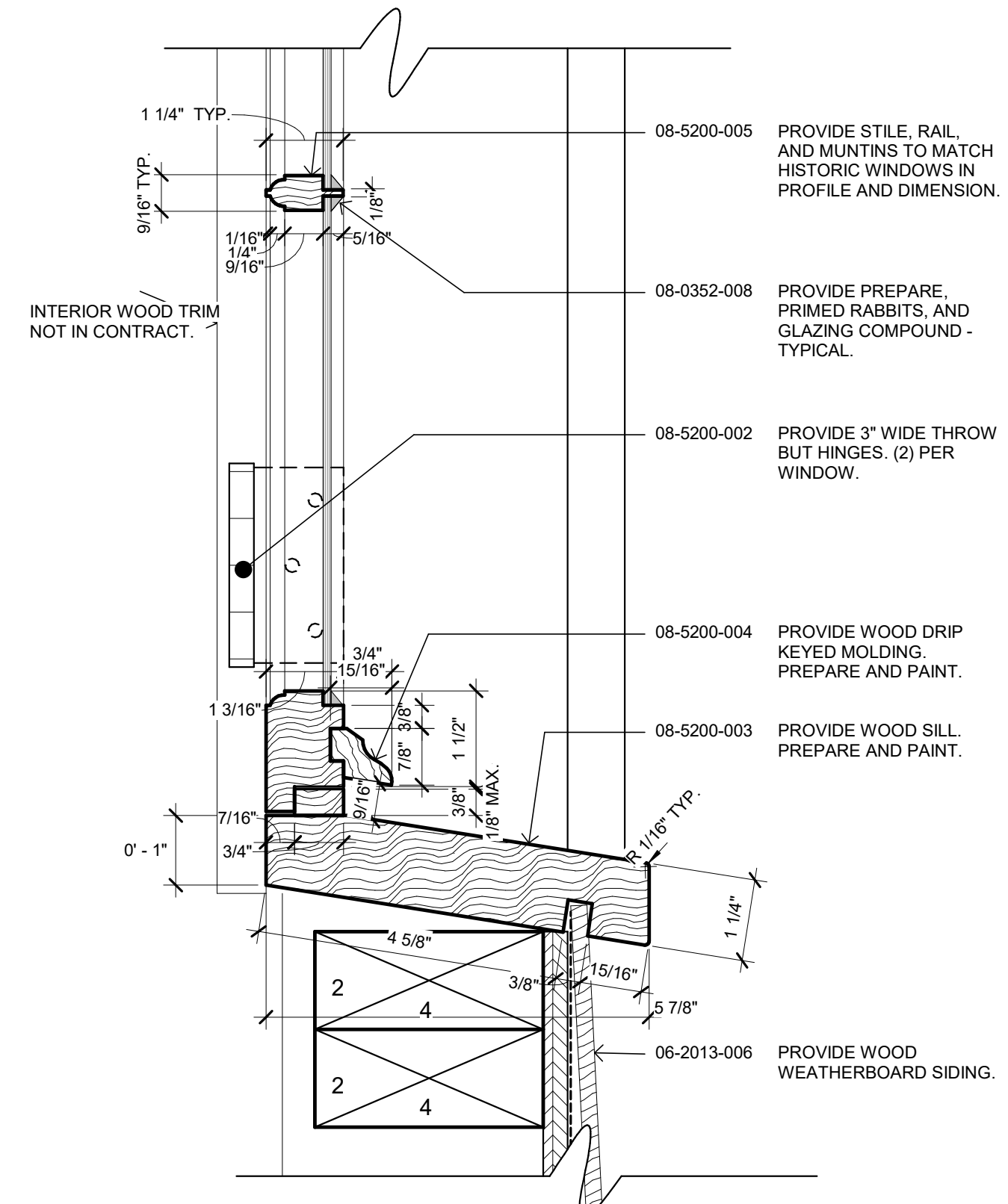
4 WINDOW HEAD DRIP TRIM  
A601 12" = 1'-0"



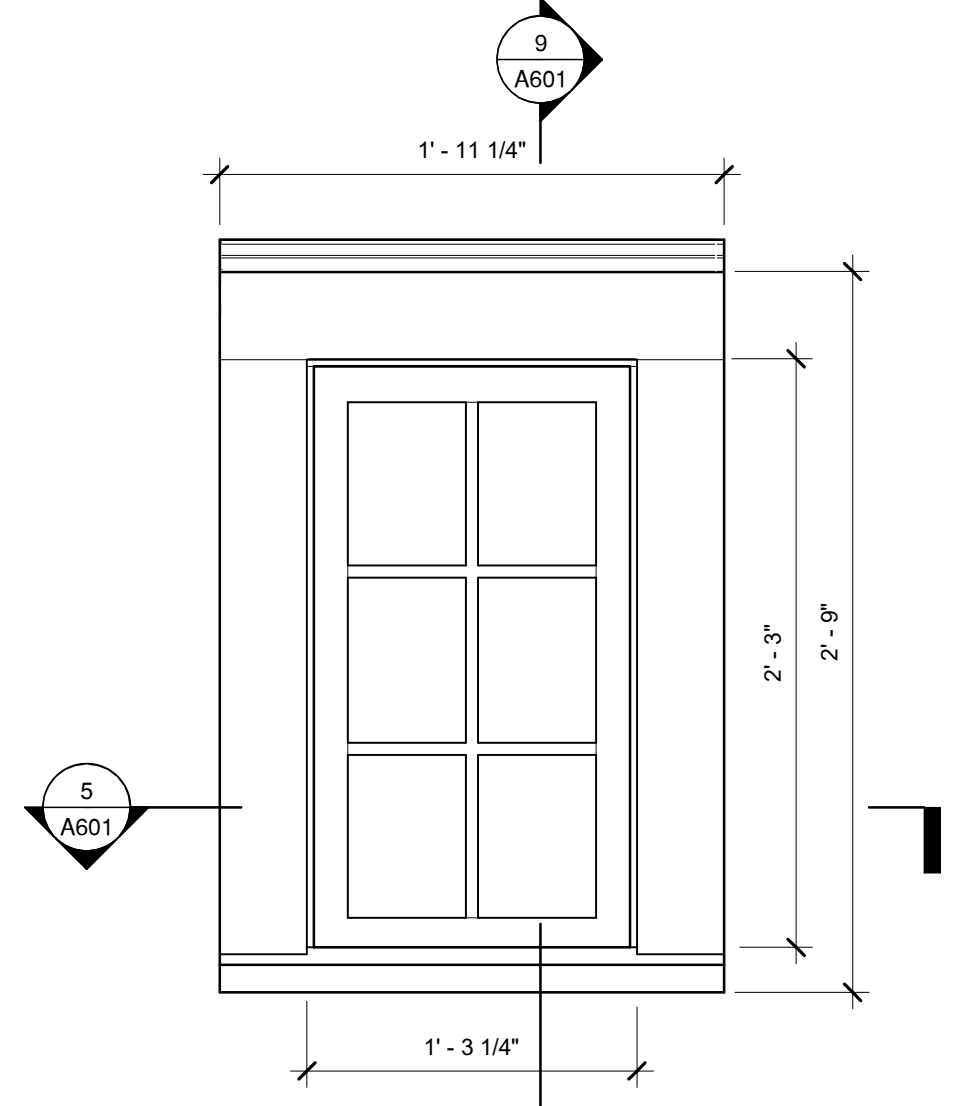
7 WINDOW TYPE A - SECTION  
A601 3" = 1'-0"



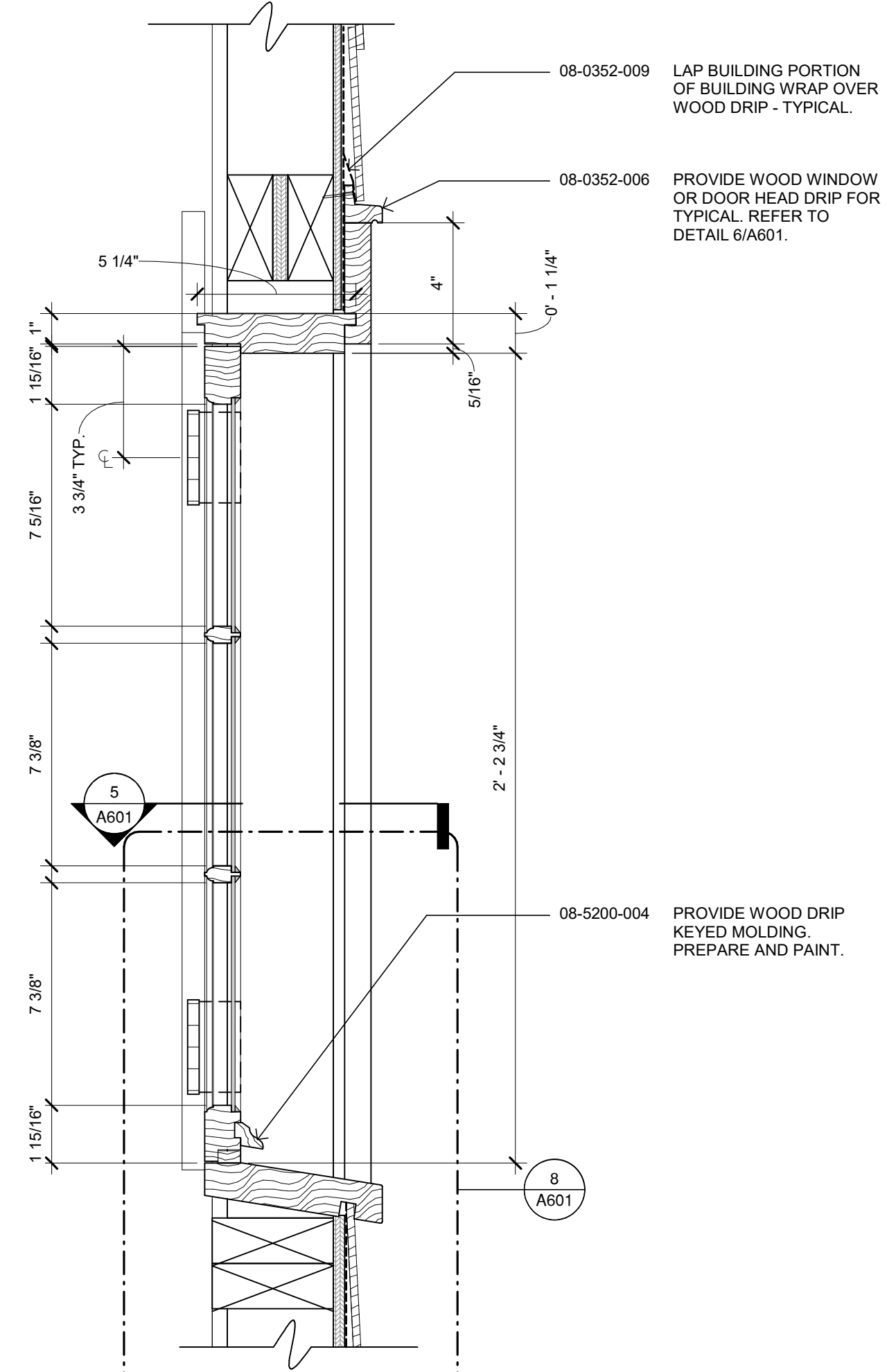
5 WINDOW TYPE C - DETAIL PLAN  
A601 3" = 1'-0"



8 DETAIL SECTION - CASEMENT WINDOW AT SILL  
A601 6" = 1'-0"



6 WINDOW TYPE C  
A601 1 1/2" = 1'-0"



9 WINDOW TYPE C - DETAIL SECTION  
A601 3" = 1'-0"

A601

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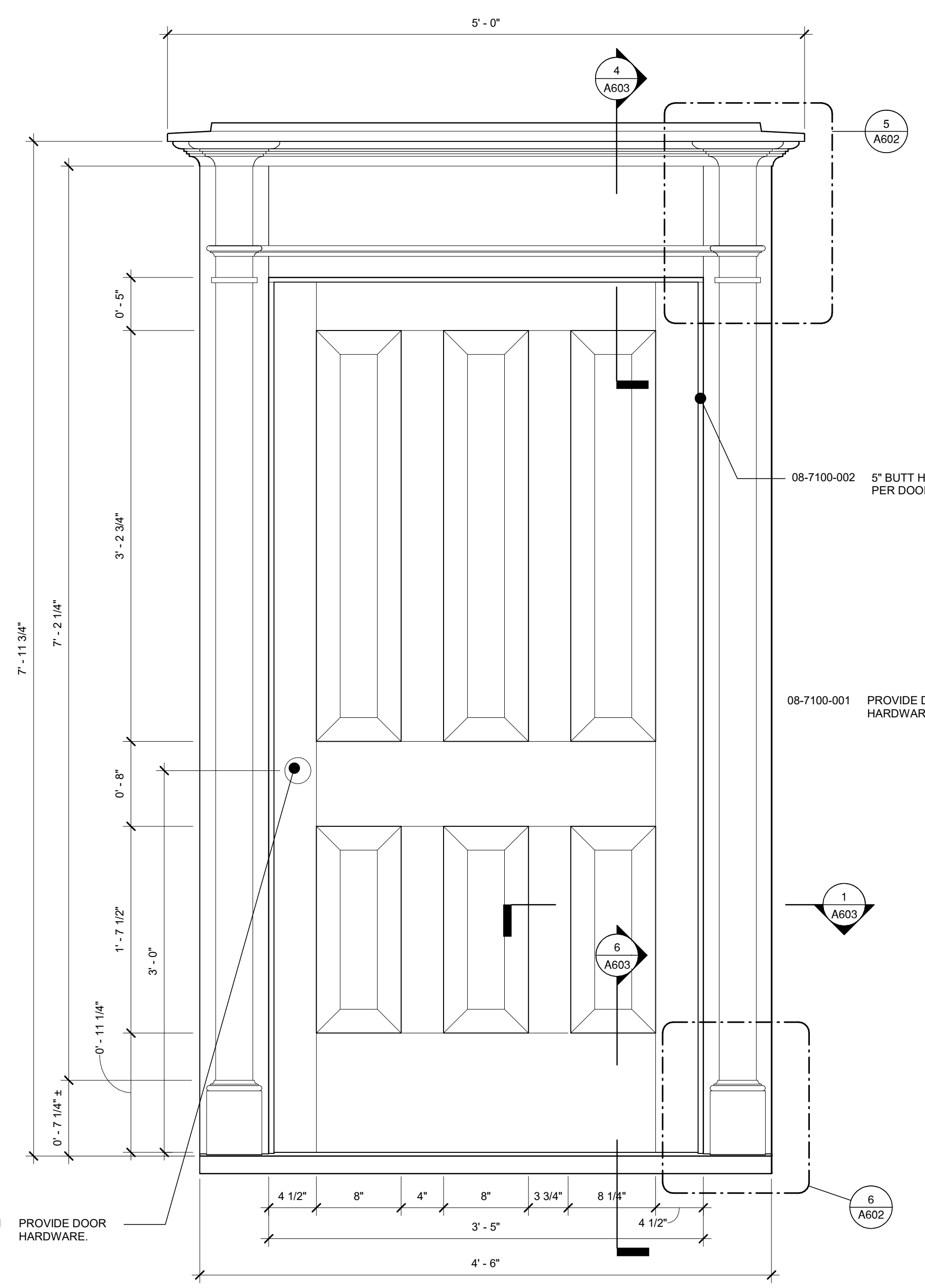
WINDOW DETAILS

John G. Waite Architects, PLLC  
64 Fulton Street, Suite 402  
Albany, NY 12207  
315-449-5440 tel  
315-449-5528 fax

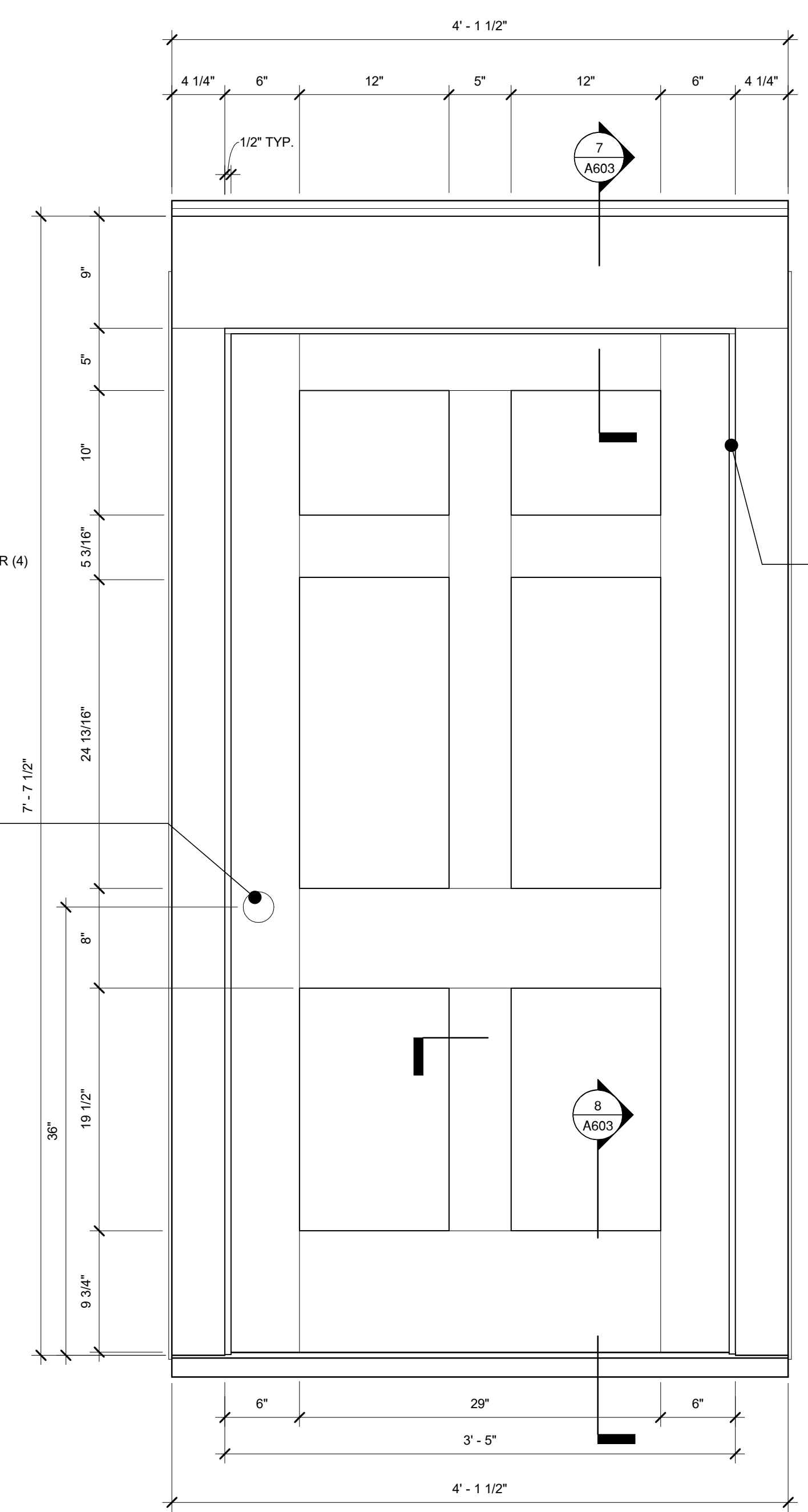
1816 FARMINGTON MEETINGHOUSE  
EXTERIOR RESTORATION  
230 SHELDON ROAD  
FARMINGTON, NY 14425

SCALE  
AS INDICATED  
2022-23C  
DESIGNED BY  
ES  
OCTOBER 23, 2023  
REVISION NUMBER

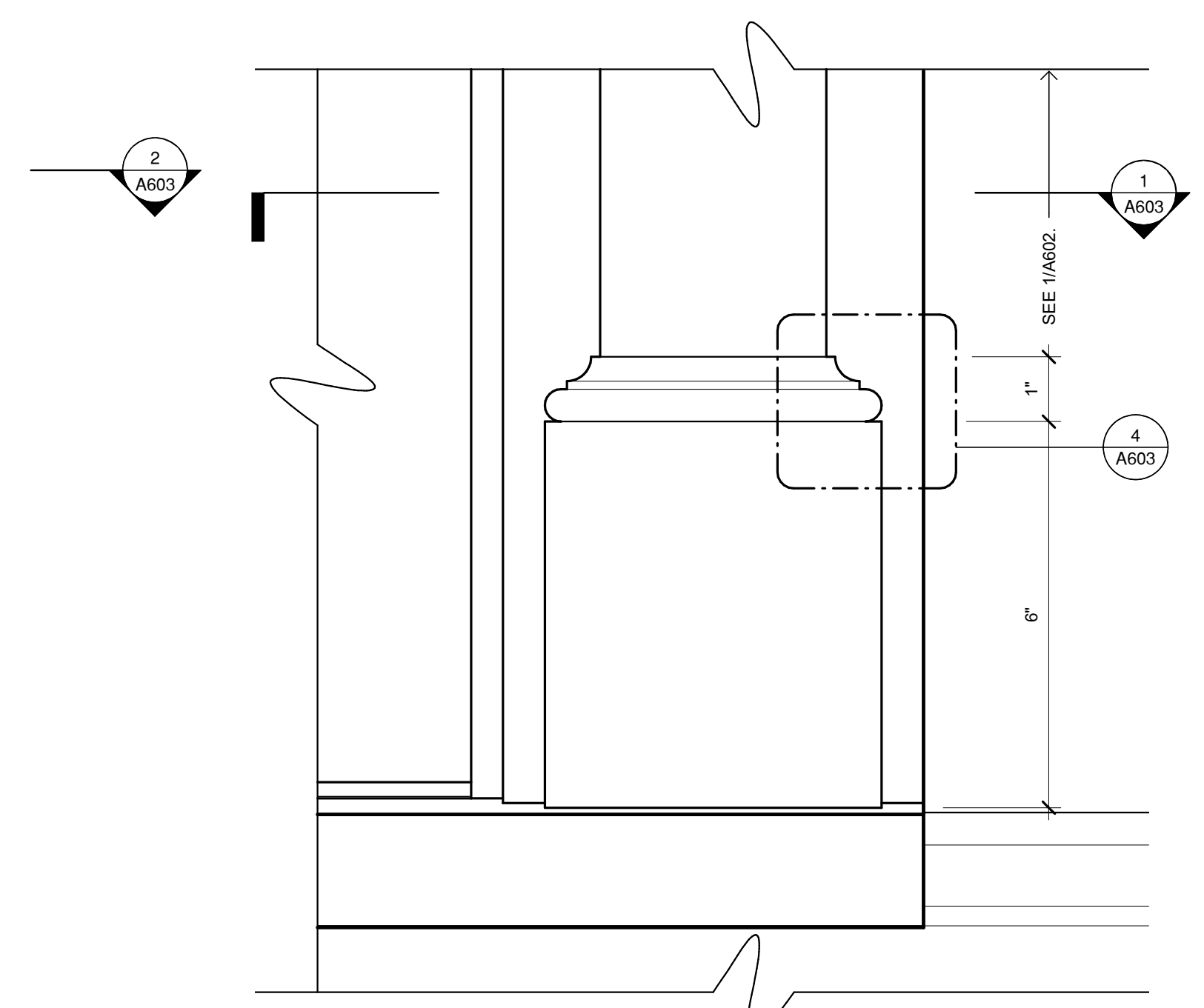
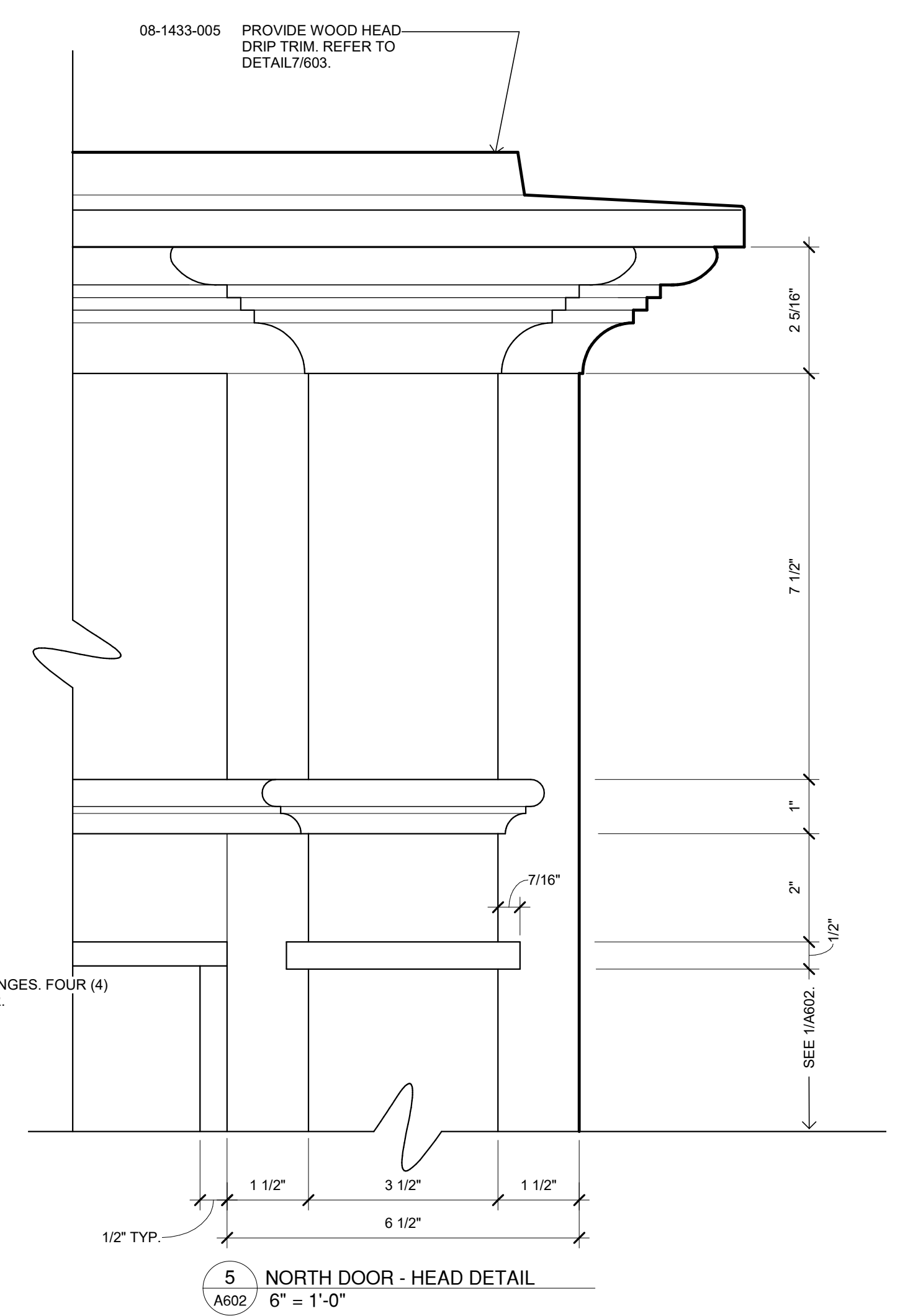
A601



1 DOOR TYPE A  
A602 / 1 1/2" = 1'-0"



2 DOOR TYPE B  
A602 / 1 1/2" = 1'-0"



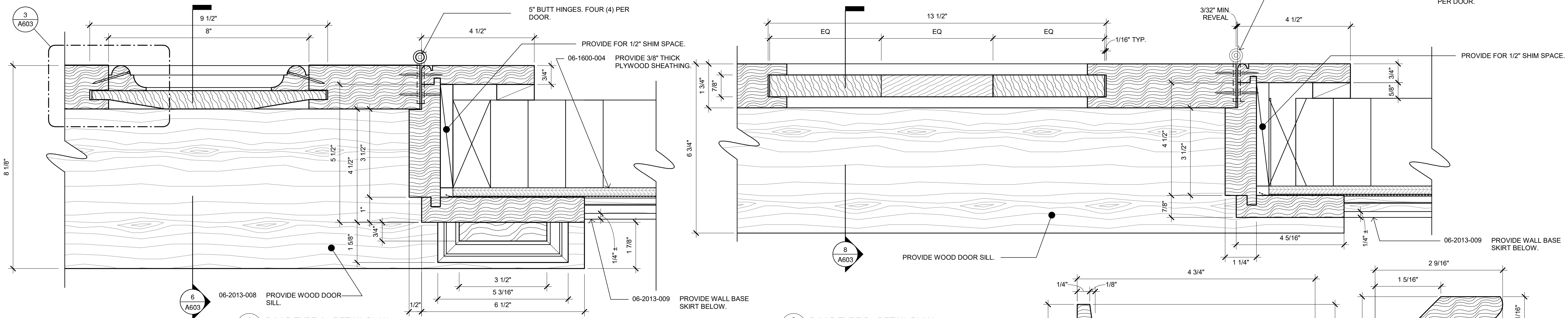
08-7100-001 PROVIDE DOOR HARDWARE.

08-7100-001 PROVIDE DOOR HARDWARE.

08-7100-002 5" BUTT HINGES, FOUR (4) PER DOOR.

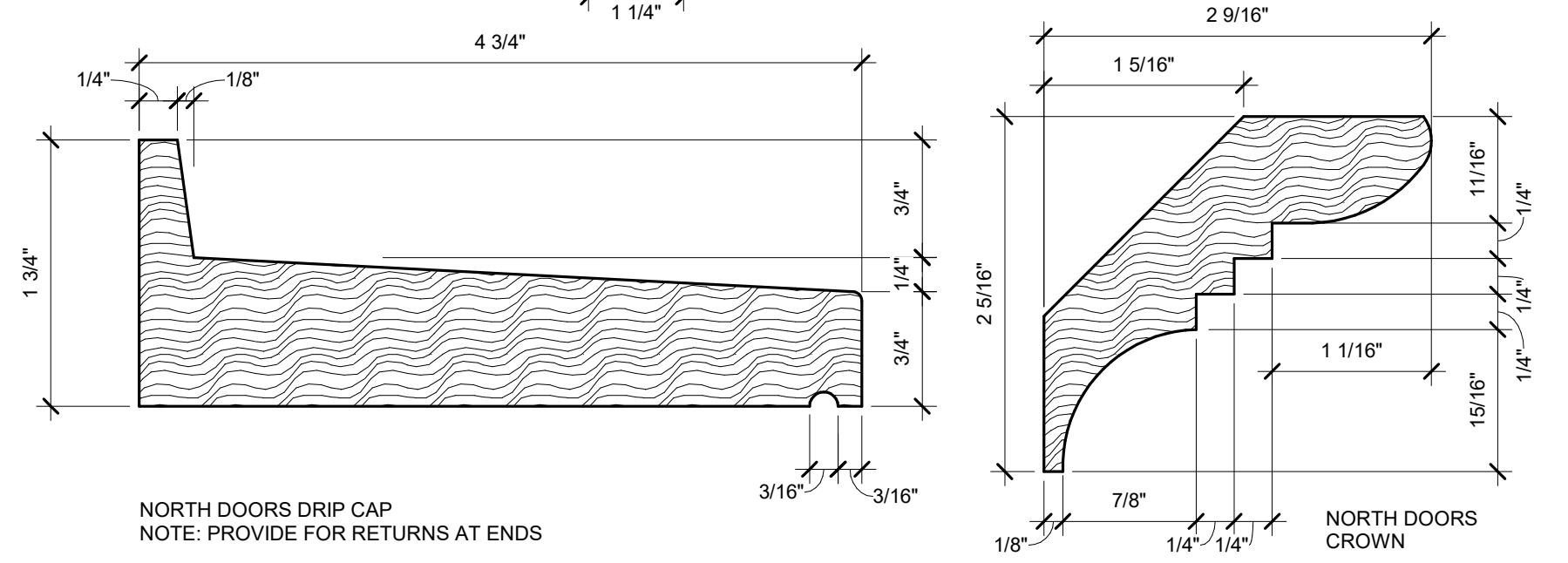
08-7100-002 5" BUTT HINGES, FOUR (4) PER DOOR.

08-1433-005 PROVIDE WOOD HEAD DRIP TRIM. REFER TO DETAIL 7/603.

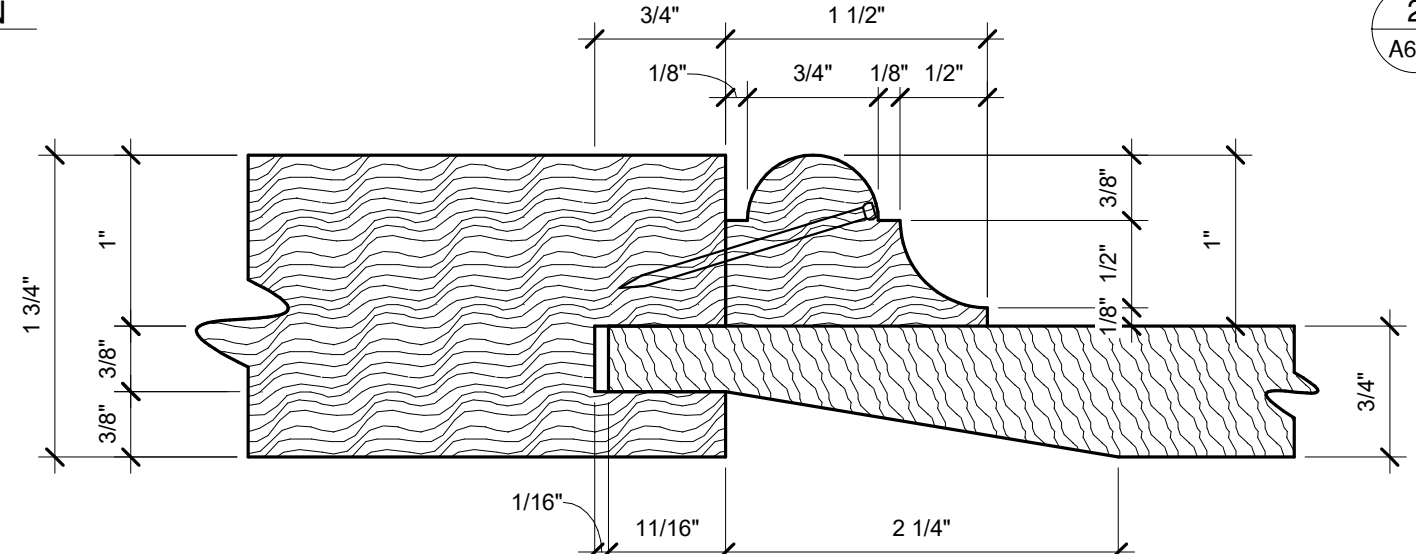


1 - DOOR TYPE A - DETAIL PLAN  
A603 6" = 1'-0"

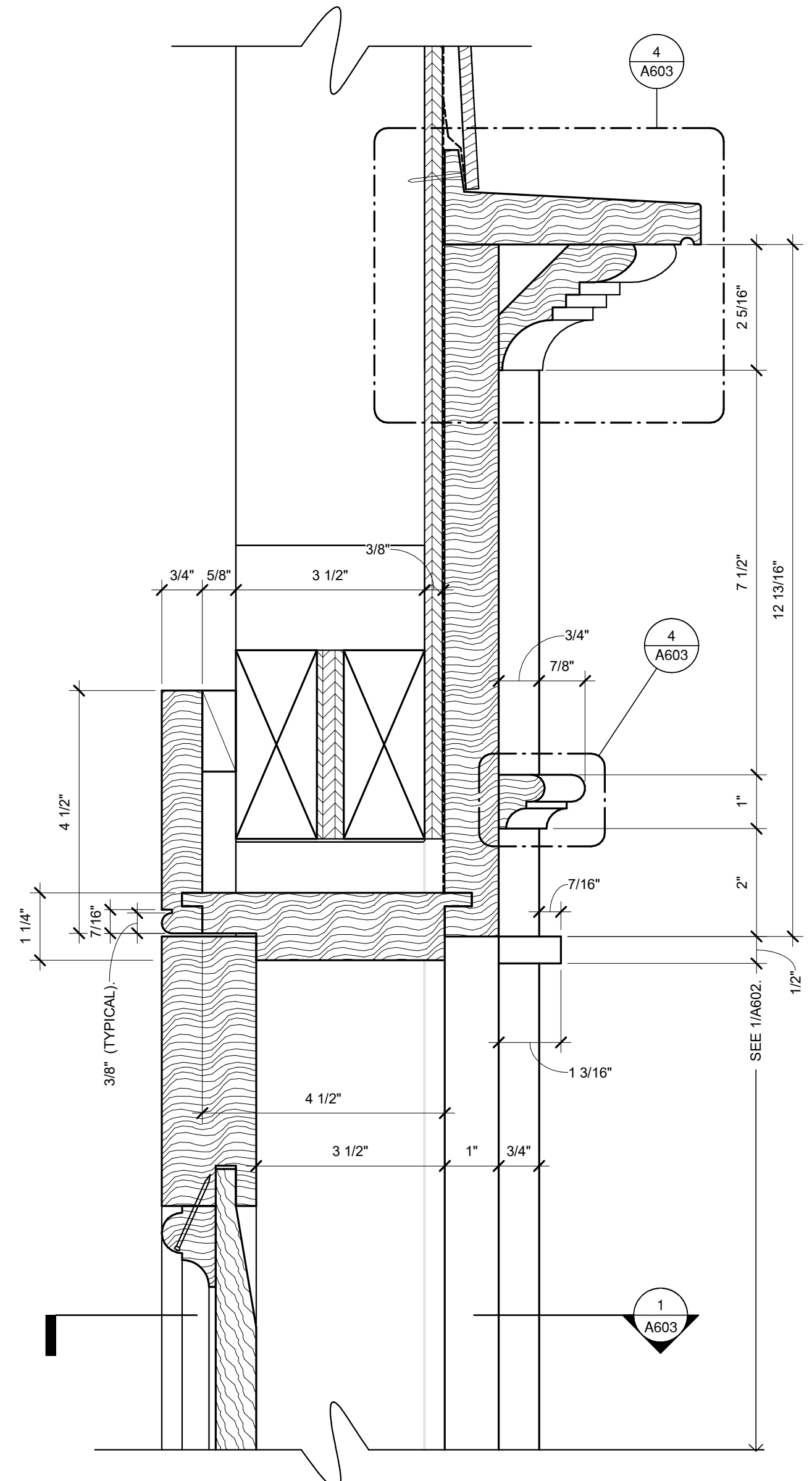
2 DOOR TYPE B - DETAIL PLAN  
A603 6" = 1'-0"



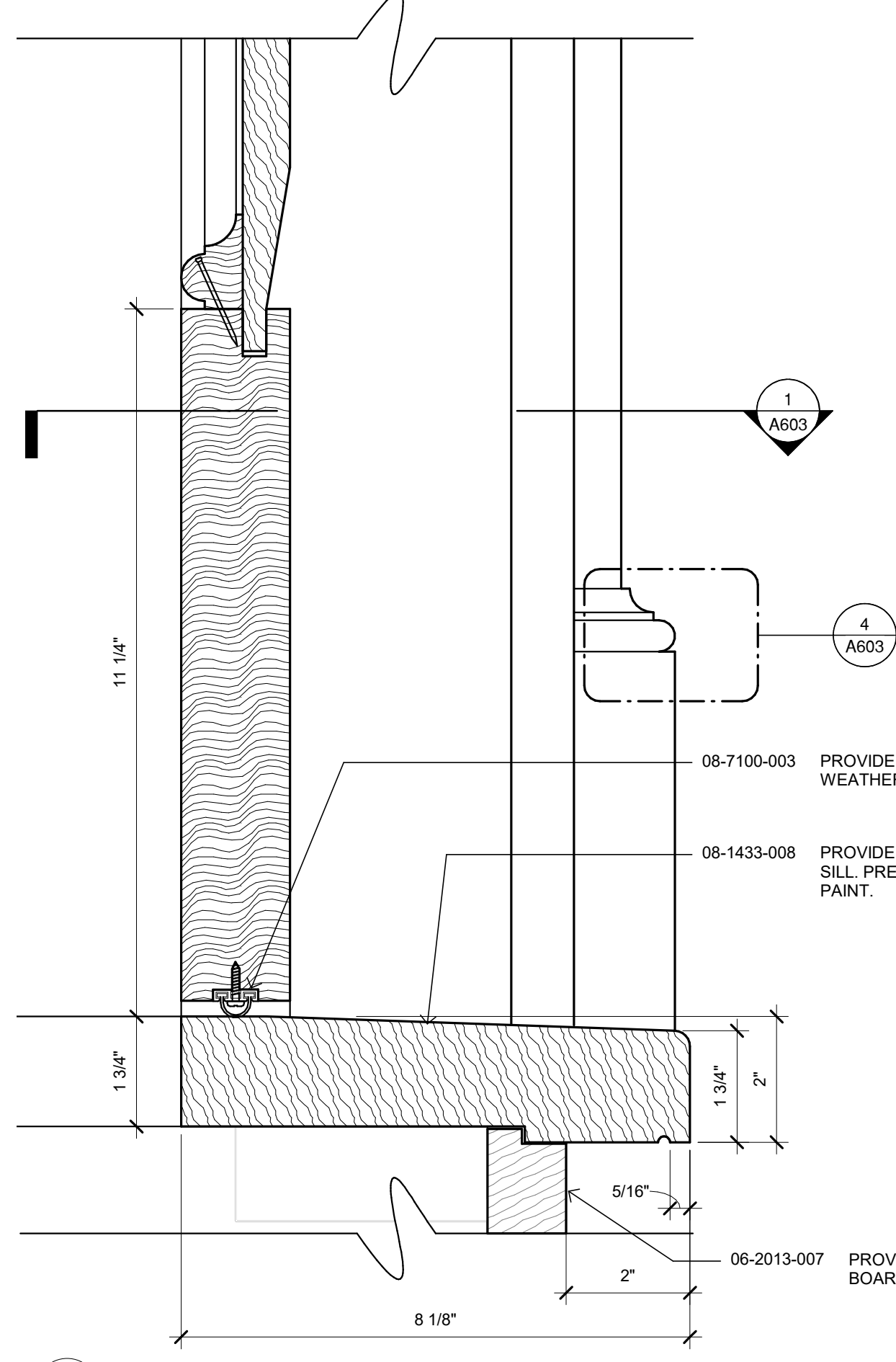
4 NORTH DOOR HEAD TRIMS  
A603 12" = 1'-0"



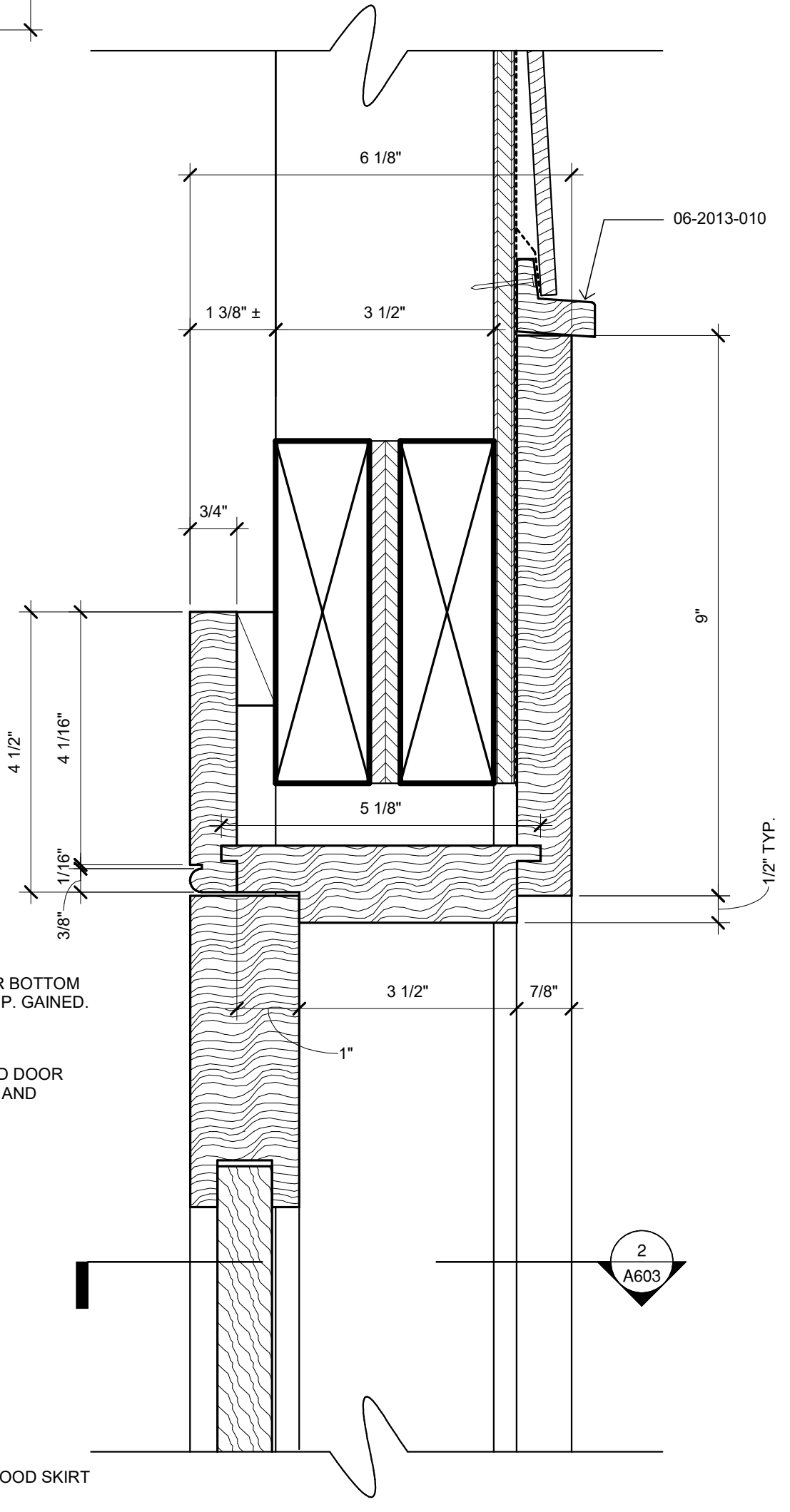
3 DOORS - RAISED PANEL PROFILES  
A603 12" = 1'-0"



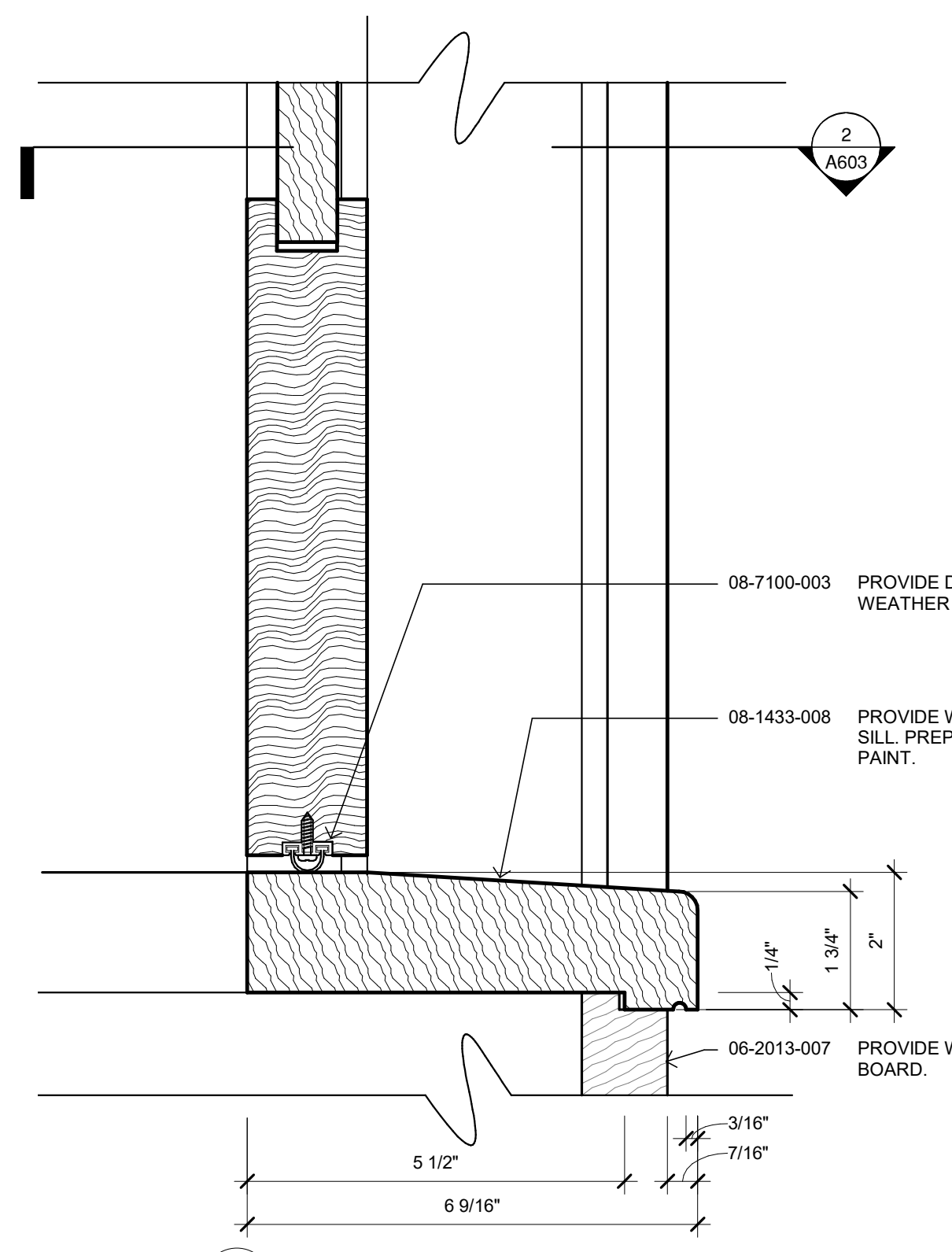
5 DOOR TYP A - HEAD DETAIL  
A603 6" = 1'-0"



6 DOOR TYPE A - DETAIL AT SILL  
A603 6" = 1'-0"

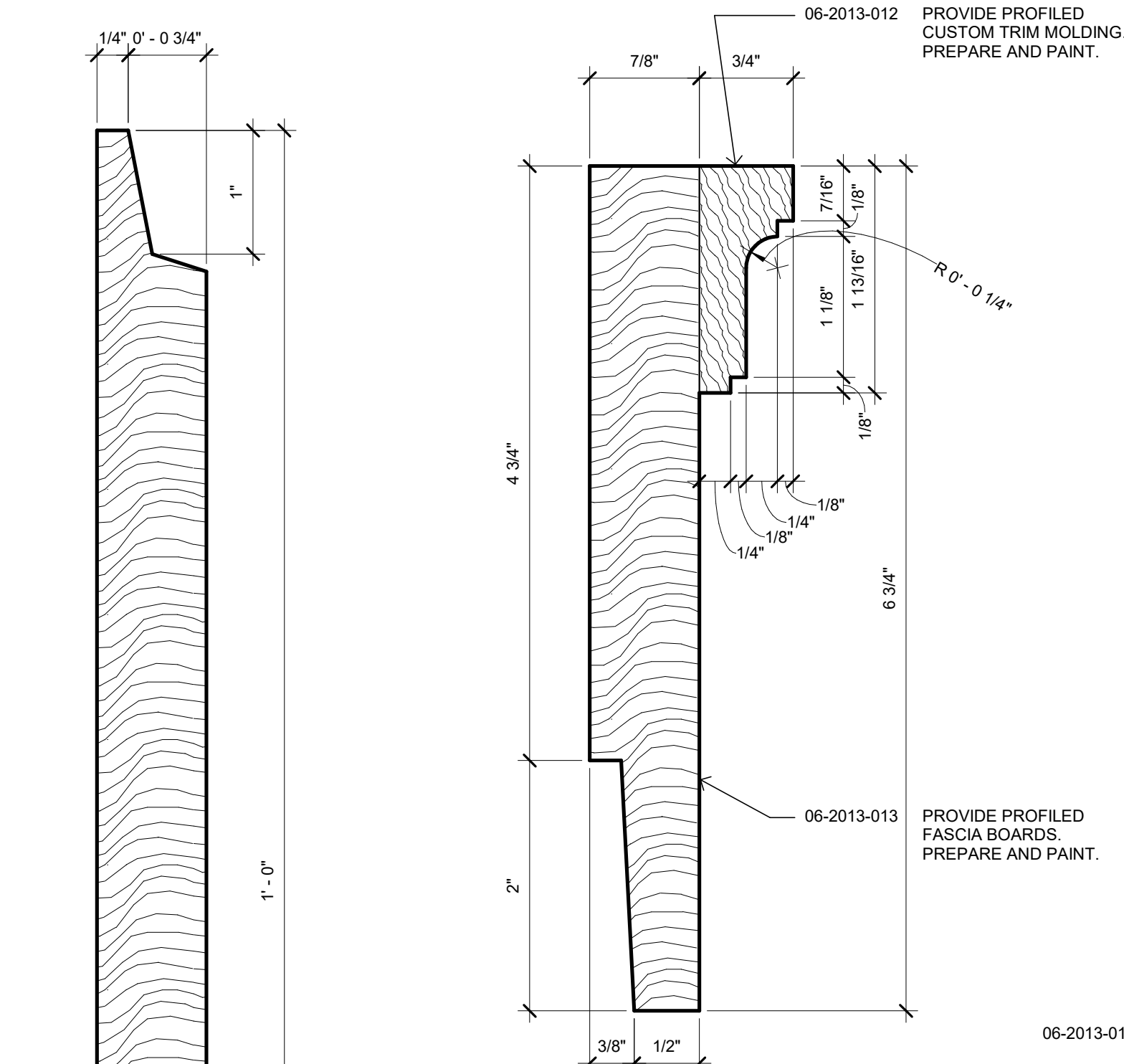


7 DOOR TYPE B - HEAD DETAIL  
A603 6" = 1'-0"

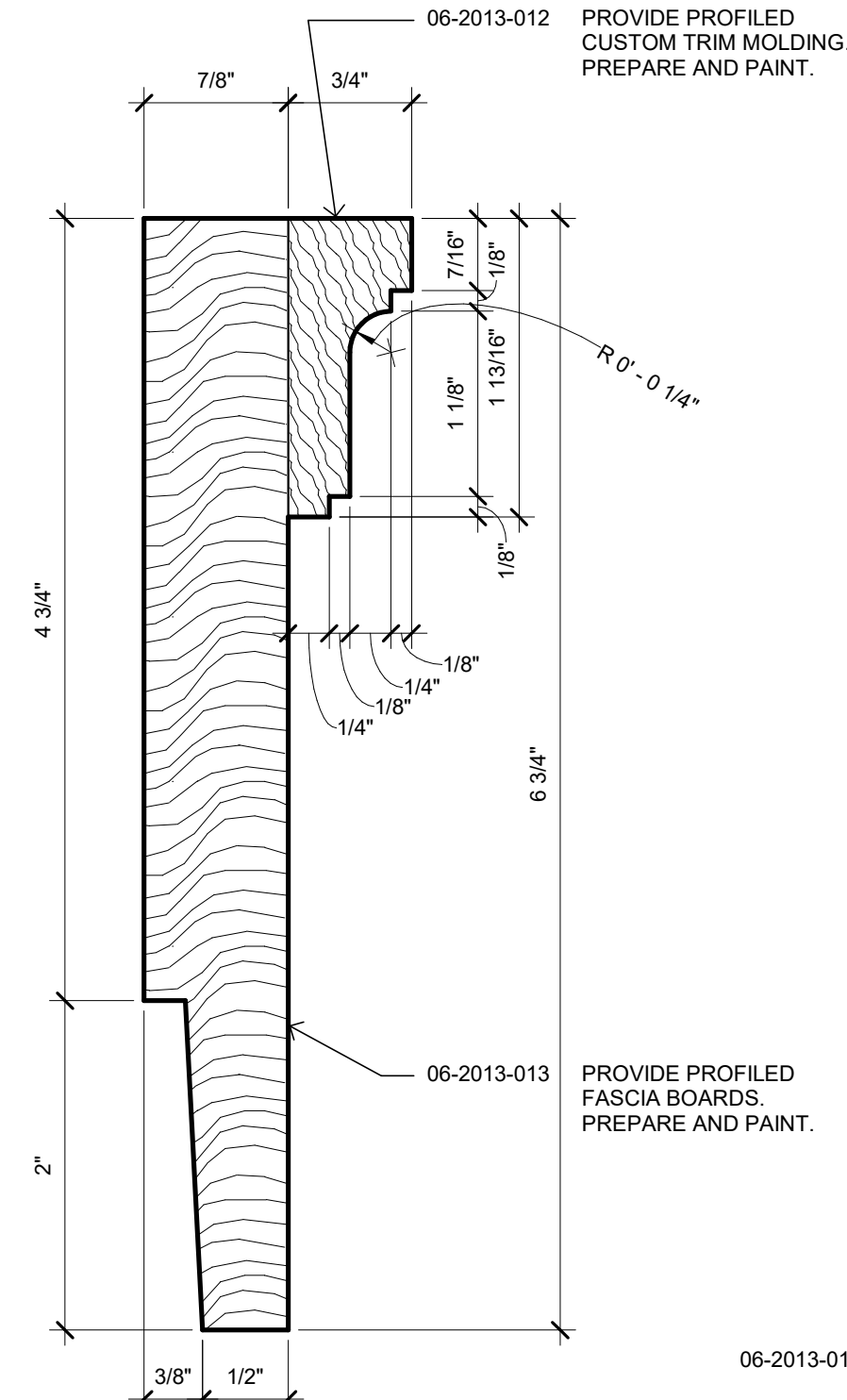


8 DOOR TYPE B - DETAIL AT SILL  
A603 6" = 1'-0"

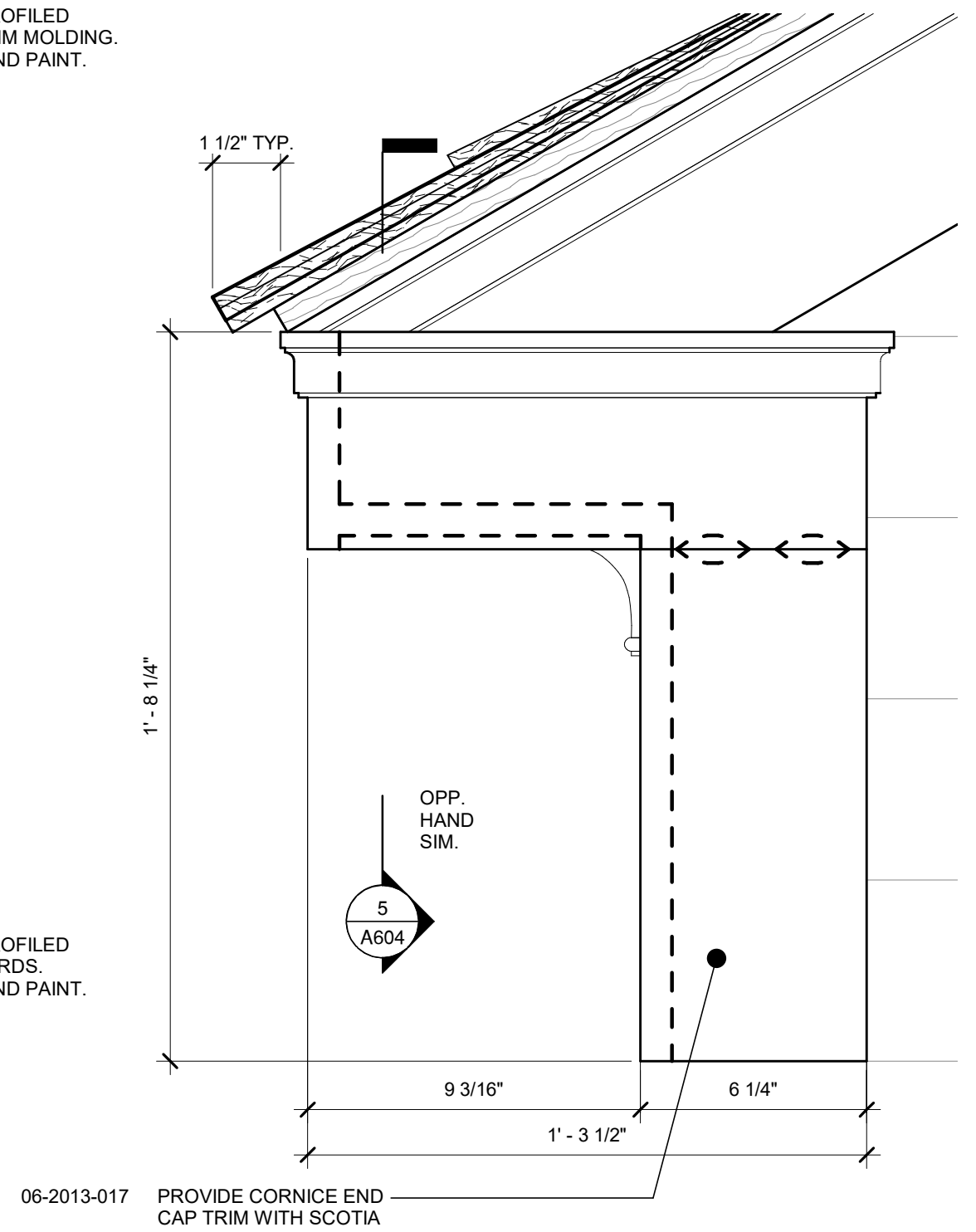




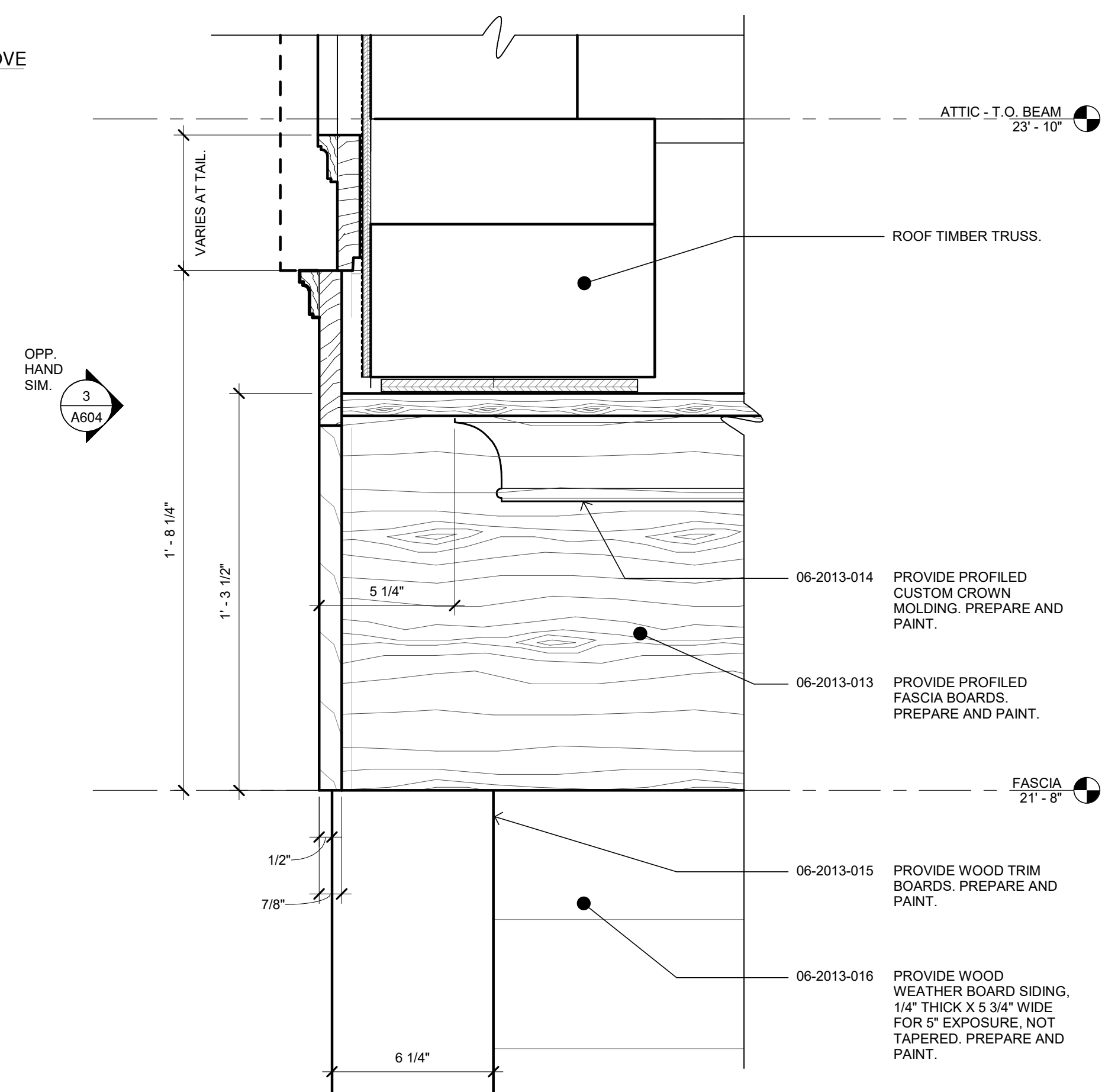
1 WALL BASE SKIRT BOARD  
A604 / 12" = 1'-0"



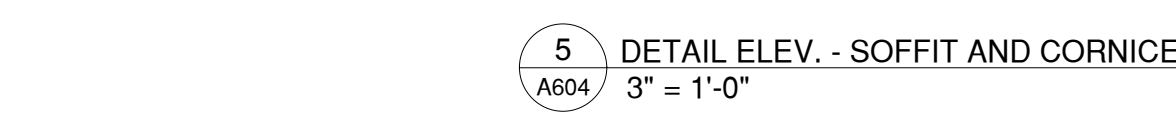
2 MILLWORK DETAILS - FASCIA BOARD AND COVE  
A604 / 12" = 1'-0"



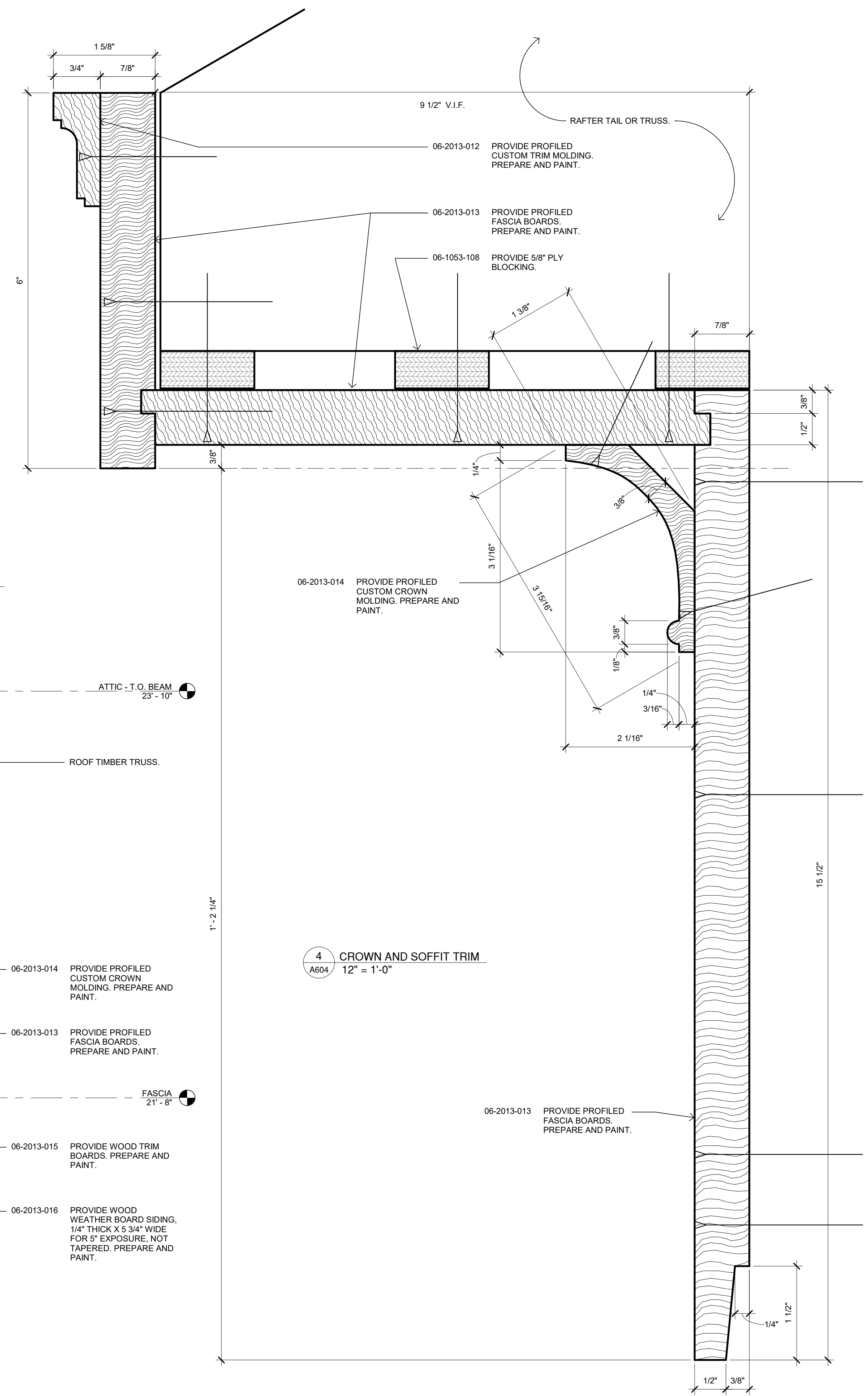
3 MILLWORK - NORTH/ SOUTH SOFFIT AND TRIM  
A604 / 3" = 1'-0"



4 CROWN AND SOFFIT TRIM  
A604 / 12" = 1'-0"



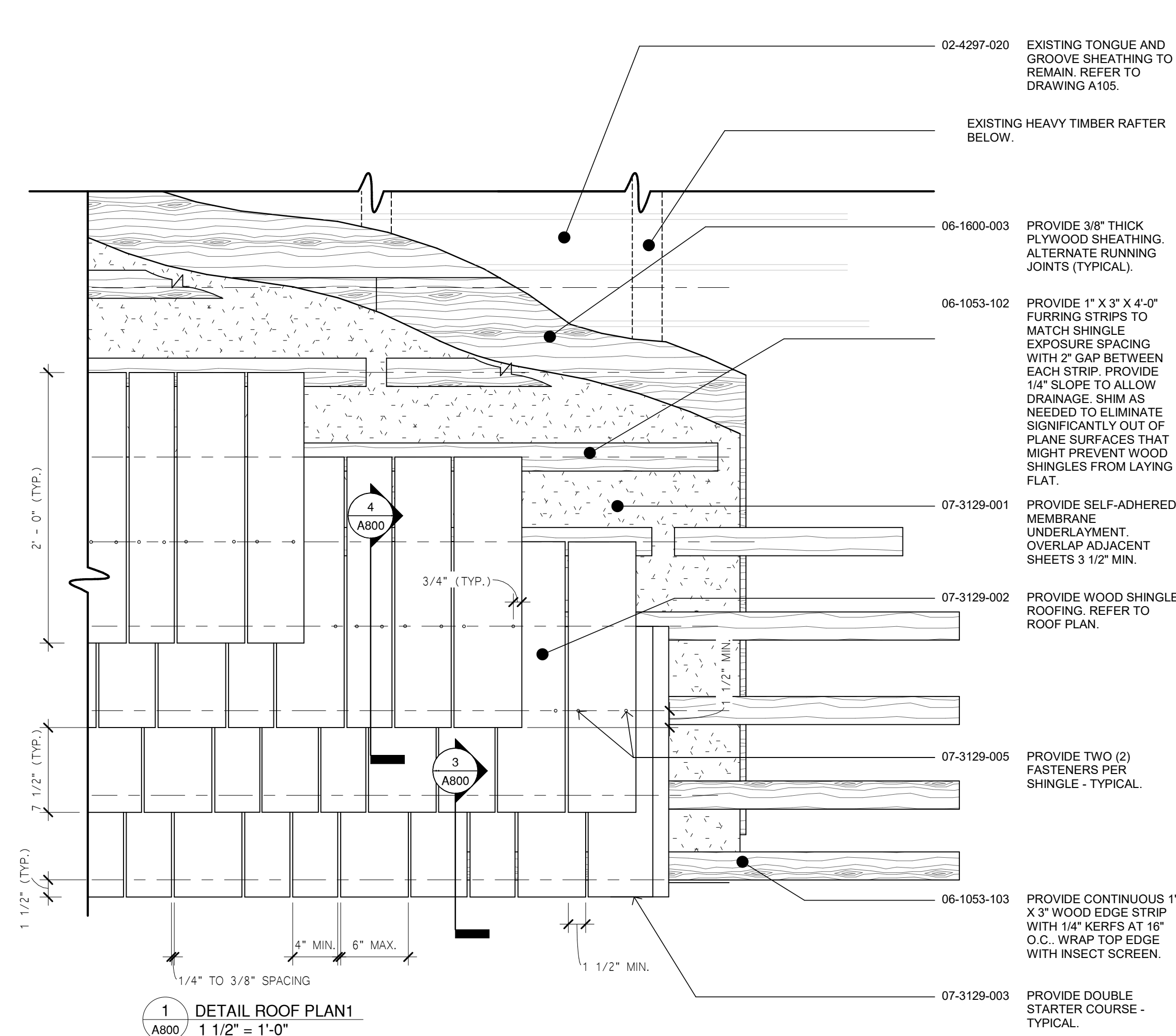
5 DETAIL ELEV. - SOFFIT AND CORNICE  
A604 / 3" = 1'-0"



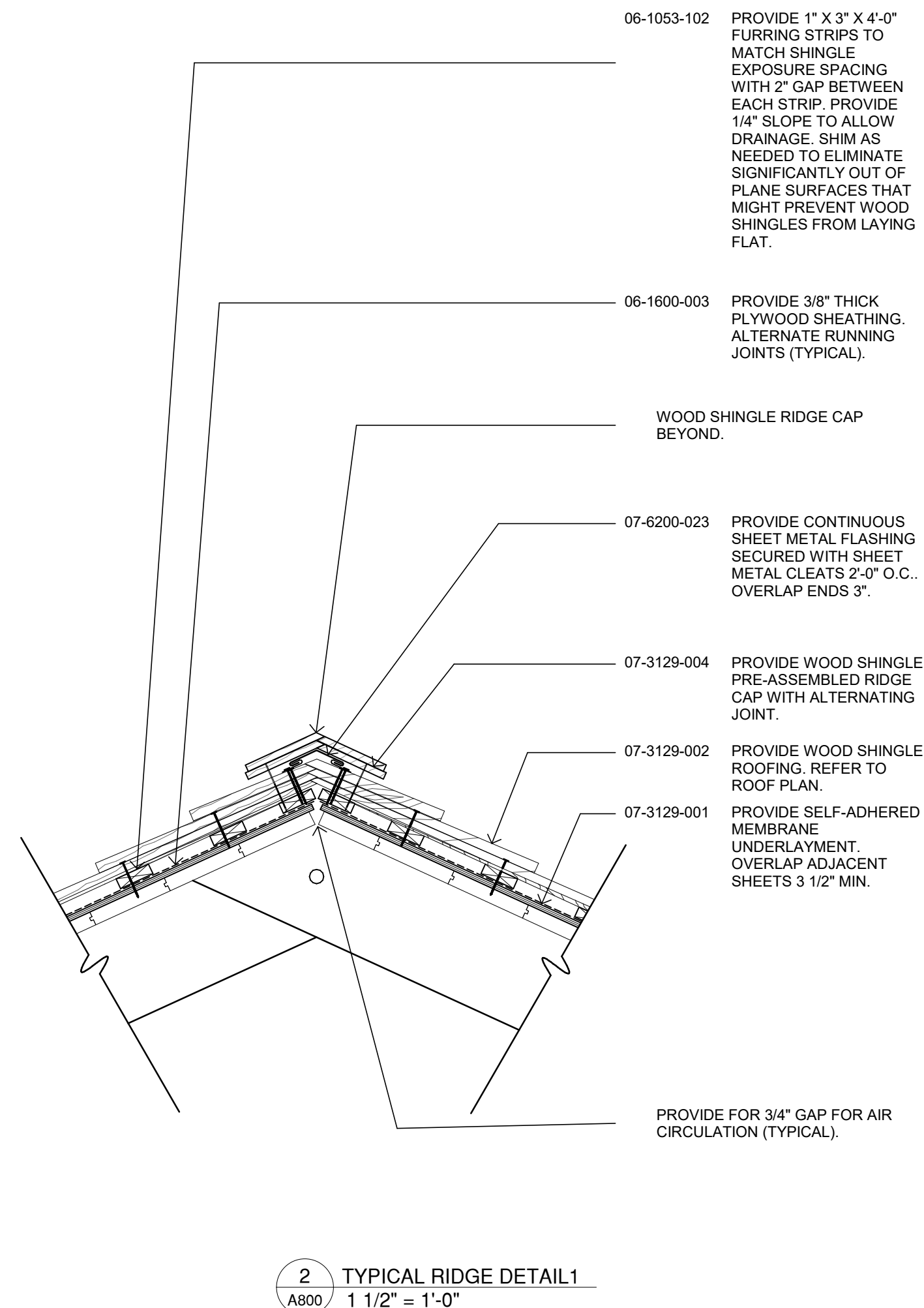
NOTE: PROVIDE FOR FASCIA AT EAST AND WEST GABLED ENDS.

OPP. HAND SIM. 3 A604

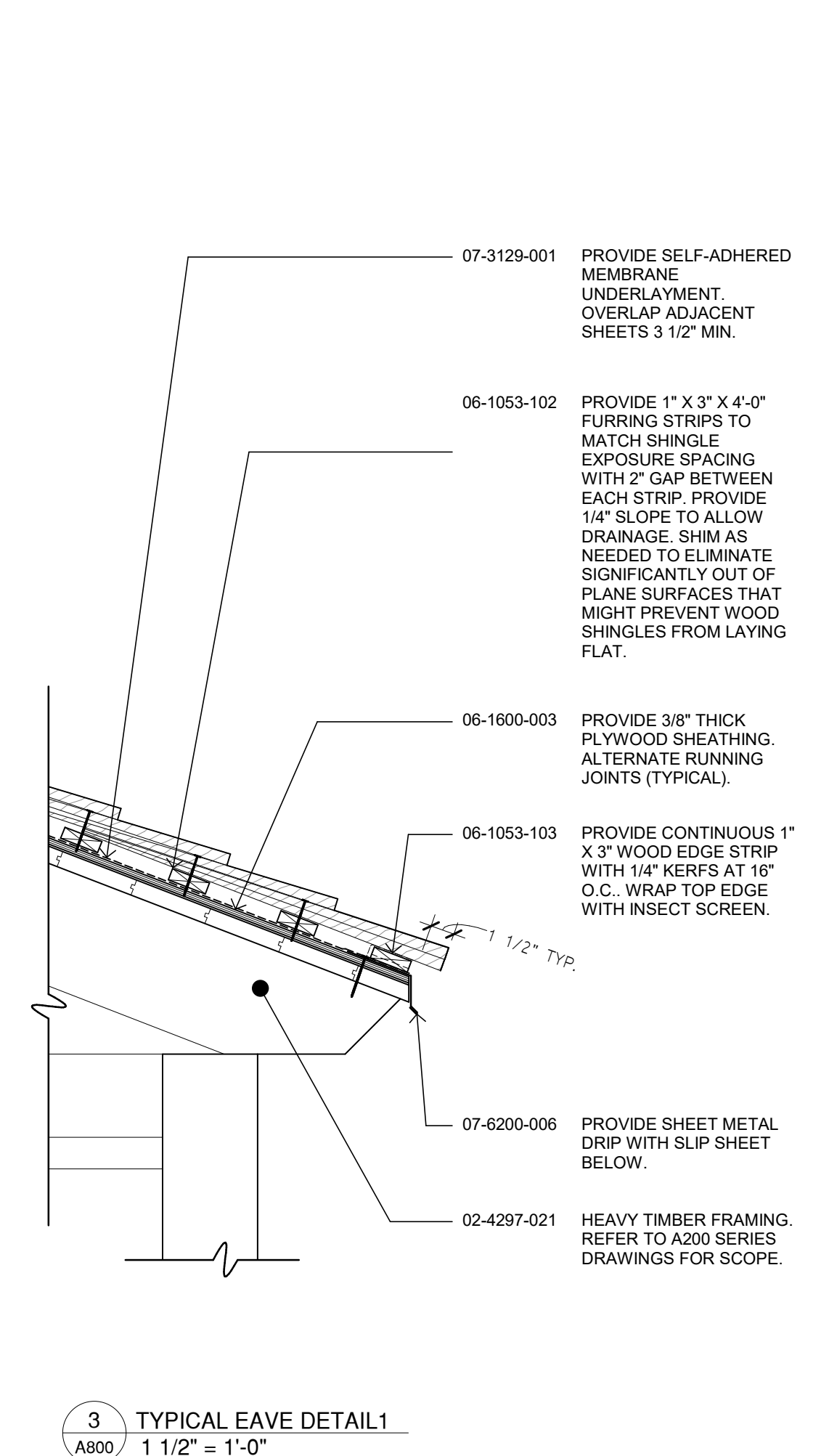
OPP. HAND SIM. 5 A604



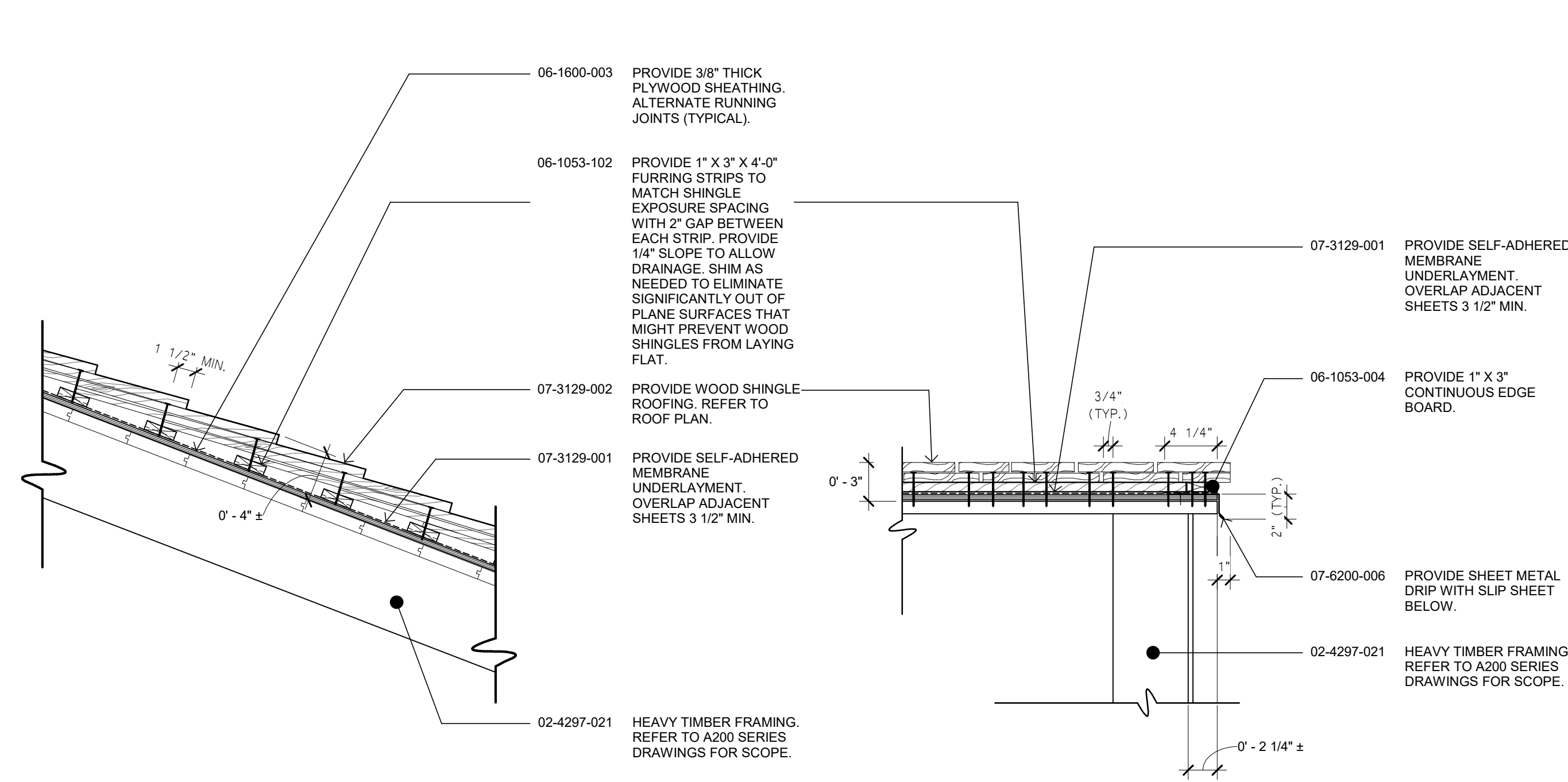
1 DETAIL ROOF PLAN1  
A800 1 1/2" = 1'-0"



2 TYPICAL RIDGE DETAIL1  
A800 1 1/2" = 1'-0"

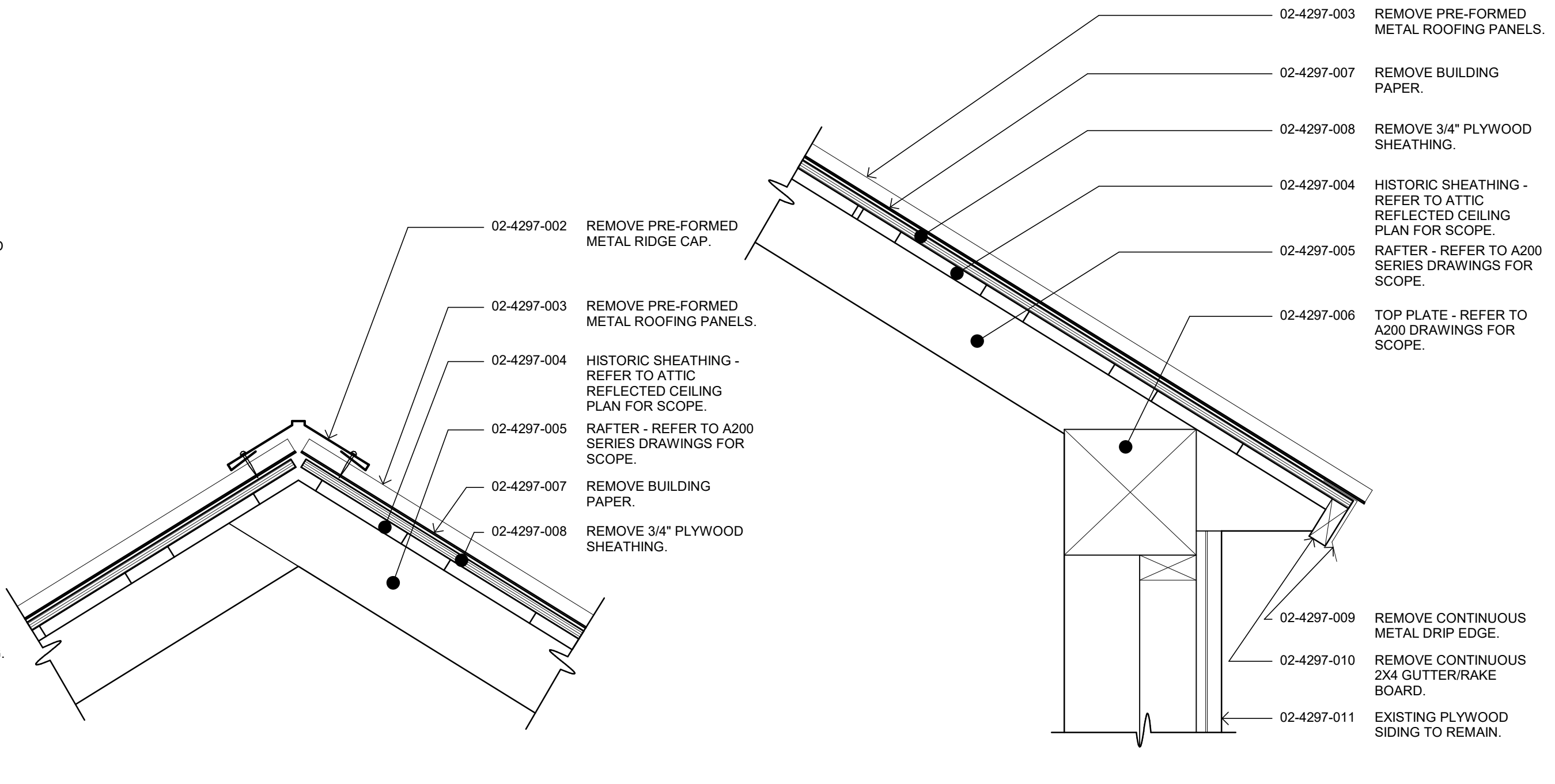


3 TYPICAL EAVE DETAIL1  
A800 1 1/2" = 1'-0"



4 TYPICAL ROOF SECTION DETAIL1  
A800 1 1/2" = 1'-0"

5 TYPICAL RAKE DETAIL1  
A800 1 1/2" = 1'-0"



6 EXISTING RIDGE DETAIL1  
A800 1 1/2" = 1'-0"

7 EXISTING EAVE AND RAKE DETAIL1  
A800 1 1/2" = 1'-0"

A800

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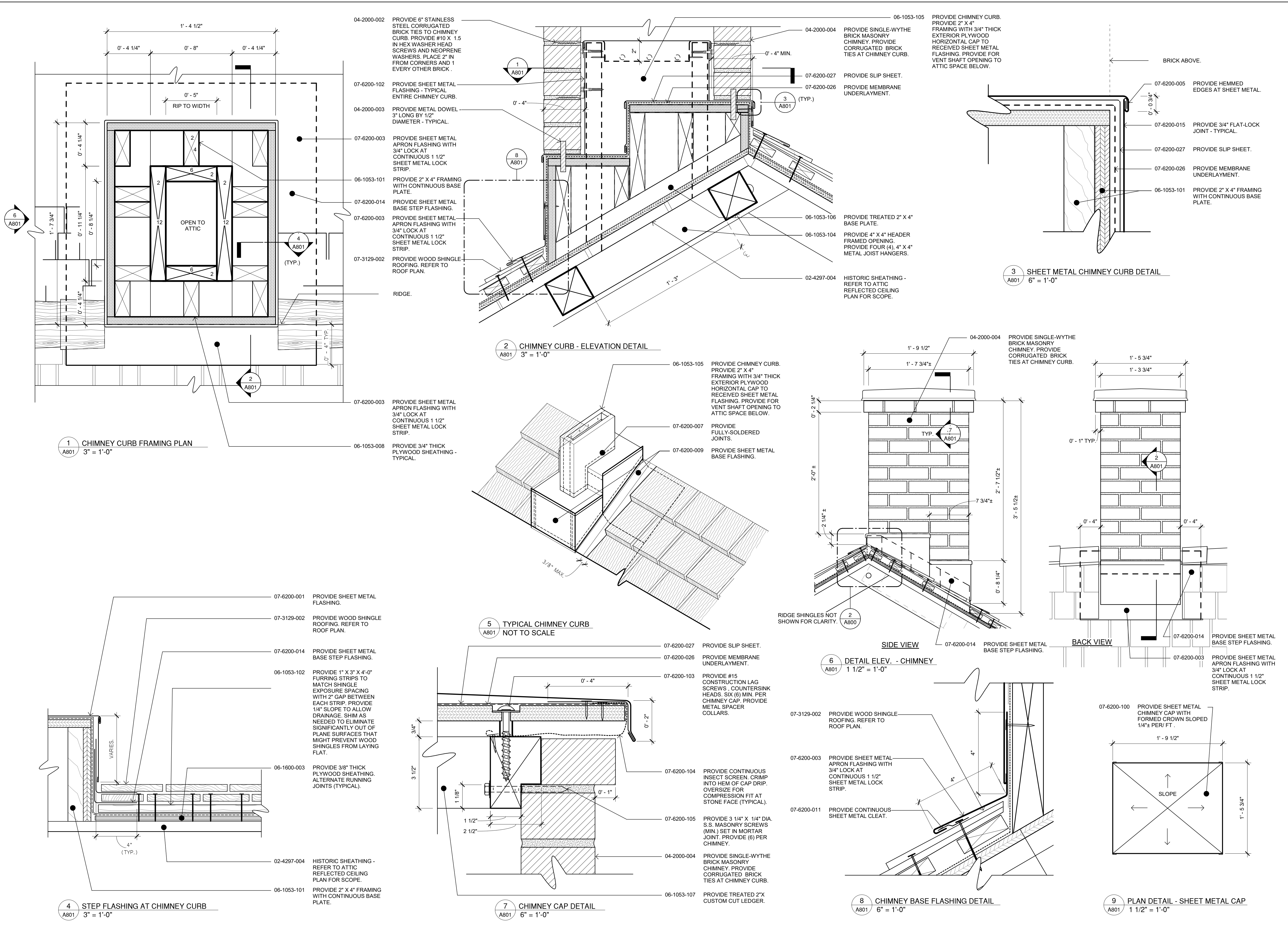
ROOF DETAILS

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310.449.5026 fax

1816 FARMINGTON MEETINGHOUSE  
EXTERIOR RESTORATION  
230 SHELTON ROAD  
FARMINGTON, NY 14425

SCALE  
1 1/2" = 1'-0"  
2022-23C  
DRAWN BY  
LV  
OCTOBER 23, 2023  
REVISION NUMBER

A800



A801

**DRAFT**  
NOT FOR CONSTRUCTION

**CHIMNEY BRICK AND CURB DETAILS**

**Architects**  
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315.449.5528 fax

**1816 FARMINGTON MEETINGHOUSE**  
EXTERIOR RESTORATION  
230 SHELDON ROAD  
FARMINGTON, NY 14425

SCALE  
As indicated  
DATE  
2022-23C  
DESIGNED BY  
Author  
DATE  
OCTOBER 23, 2023  
REVISION NUMBER

A801