



Oregon Roof Consulting and Inspection

No-Nonsense Roofing Advice for Property Owners: Affordable ~ Thorough ~ Versatile ~ Capable

Serving the Portland Metro area and all of Oregon: (503) 654-4612

Oregon CCB: 199121 ~ WA Lic: OREGORC871MR

PO Box 220190, Milwaukie, OR 97222

Resume' ~ Track Record ~ Experience ~ Qualifications ~ History

Please note : I have 44 years of legitimate verifiable experience as a laborer / grunt / gopher for my brother's roofing business in the 60's, the better part of 3 decades as a roofing contractor, 6 years as an estimator / project manager for 2 large roofing companies and am now nearing the end of my 10th year as the owner / operator of Oregon Roof Consulting and Inspection. I have personally installed over 1,000 roofs and have done at least 14,000 roofing estimates back in the roofing days. Oregon Roof Consulting has participated in 5 courtroom hearings and 16 arbitration hearings in Oregon and Washington and 19 on site CCB mediation meetings in Oregon - all as an expert witness, so, we are somewhat familiar with the roofing trade.

I have done work for but not limited to : Homeowners; Businesses and corporations of all sizes; Insurance companies; Banks; Churches; Relocation companies; Roofing contractors; Investment groups; HOA's; Apartment complexes of all sizes; The State of Oregon; Multiple school districts including West Linn; David Douglas; and every elementary, middle, and high school in both Hood River and Wasco (The Dalles) counties; United States Coast Guard in Astoria; etc. I have done jobs all over Oregon and Washington; All over the San Francisco Bay Area including San Francisco, Oakland, Napa, Richmond, Alameda, Fremont, Pleasanton, Berkeley, Fresno, Sacramento and Reno Nevada. We have also helped with two shingle roofing projects on the remote South Pacific island of Rarotonga (Cook Islands). This is all on my website. See www.oregonroofconsulting.com

Thank you,

Owner of Oregon Roof Consulting & Inspection

Oregon Roof Consulting and Inspection No-Nonsense Roofing Advice for Property Owners



- Affordable ~ Thorough ~ Versatile ~ Capable
- Roofing in Oregon Since 1973
- Project Management & Monitoring
- Inspections ~ Certifications ~ Owner Advocacy

www.oregonroofconsulting.com

Phone: (503) 654-4612 Cell: (503) 952-6479

Email: joe@oregonroofconsulting.com

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Joe Sardotz, Owner Operator



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Roof Inspection for : [REDACTED]
Job Address : [REDACTED] Portland, Oregon 97233

I inspected this roof on June 17th 2023. I met the owner, looked in the attic, and got on the roof. The roof is a new Malarkey 'Vista' 30 year factory warranted asphalt laminated shingle in the black color. One layer over plywood over ship lap. Separate photo emails will be sent. Each photo email will be numbered to correspond to the numbered items on the summary report. The following items should be noted :

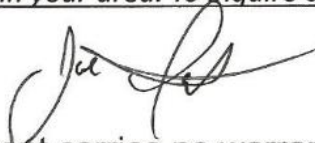
1. There are many positives about this roof : quality shingles; metal vents; 'Ultimate' pipe jacks; double lead power mast flashing; continuous ridge vent.
2. In some places the 1X3 drip flashing touches the gutter helmet and in other places it is up to an inch above the gutter helmet. This is caused by an uneven edge caused by time, lumber fatigue, snow loads, settling, etc. A positive thing would be to install a piece of 2X3 5/12 flashing at the areas with the wide gap.. This is not a code or Malarkey requirement but would be a positive thing.
3. Nails used for ridge shingles on ridge vent are too short at 1-3/4" to meet deck penetration requirements. These nails barely reach the deck. Nails MUST penetrate at least 3/4" into the deck. This is required by code and all shingle manufacturers including Malarkey.
4. The riddge vent opening on the garage roof is inconsistent. Some bays have an opening on one side other bays have no opening at all. Opening should be 3/4" on each side of the ridge board and be the same all across the ridge except for overhangs. **I was unable to see the main ridge vent opening due to no attic access but the homeowner is concerned that there may be issues with the rest of the ridge vent considering how poorly the garage ridge vent opening was done. When the ridge shingles are renailed with proper length nails it would be wise to lift up the ridge vent in a few spots to check the opening. If the opening is not correct the opening must be redone if the opening is correct then that would be absolution and verification for the home owner.
5. The ridge vent is tight to the chimney. There should be at least 6" between the end of the ridge vent and the brick to allow for proper drainage. This is the industry standard. On one side of the chimney the ridge vent is tight to the

- roof but on the other side there is a one inch gap between the roof and the underside of the ridge vent. Water, bees, bats can easily enter here
6. Intake vents consist of one 3/4" hole in every 'bird block'. This is inadequate. **Contract says** that "11 full screen 6" soffit vents" would be installed. There are no soffit screens on this roof. 11 is not enough anyway. I believe the code requires intakes every 4 feet.
 7. Where the power mast penetrates the roof there is a hole about the size of a billiard ball next to the pipe. A variety of critters can enter here so this hole should be plugged with a new board or covered with metal screen or a piece of flat stock (sheet metal). Can't leave it the way it is.
 8. Contract says " hot deep (sic) should be dipped roofing nails". I checked at multiple locations all over the roof and all shingle nails appear to be electro galvanized nails which have a gold/green/yellow ish color.
 9. The front of all pipe flashings are not secured to the deck. Also, Malarkey wants sealant between the underside of the front/bottom of all flanges and shingles they rest on as well as between the surface of the upper part of the flange and the underside of the lapping shingles. This is especially important on a lower slope roof. This roof is a 4/12 pitch.
 10. In a few spots – not many – shingles were jammed tight together. All manufacturers advise to lay shingles loosely so they can 'relax' in warmer weather and lay flat. This is not a roof performance issue but the owner finds it aesthetically objectionable.

It is any Contractor's responsibility, obligation, and requirement to 1) Know how a roof system should be installed. 2) Install that roof system correctly.

**** The Oregon Residential Specialty Code R102.7.1 : 'Additions, alterations or repairs (excluding ordinary repairs) to any structure shall conform to the requirements for a new structure without requiring an existing structure to comply with all of the requirements of this code, unless otherwise stated. Additions, alterations or repairs shall not cause an existing structure to become unsafe or adversely affect the performance of the building.....'. R905.1 : 'Roof coverings shall be applied in accordance with the applicable provisions of this section and manufacturers installation instructions'. R903.1 : ' Roof Assemblies shall be designed and installed in accordance with this code and the approved manufacturers instructions such that the roof assembly shall serve to protect the building or structure'. R105.2 : 'Exemption from permit requirements of this code shall not be deemed to grant authorization for any work to be done in a manner in violation of the provisions of this code or any other laws or ordinances of this jurisdiction'. **** A permit may or may not be required in your area. To inquire call local building officials.****

Thank you,



Owner of Oregon Roof Consulting & Inspection

****This document carries no warranty or guarantee. It is an opinion based on industry standards, manufacturers specifications, local codes and my experience****

RECIPIENT:



Quote #128

Sent on

Dec 23, 2022

Total

\$24,645.00

PRODUCT / SERVICE	DESCRIPTION	QTY.
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Re-roof Original Estimate	We propose hereby to furnish material and labor necessary for the completion of the project.	1
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New Roof Installation as Follows:

- Prepare grounds for re-roofing.
- Tear off (2) layer of existing composition shingles.
- Inspect deck for dry-rot and inform owner of any necessary repairs.
- All dry-rot and additional repairs to be charged at \$75.00 per labor hour plus the cost of materials.
- Install 1/2" CDX plywood over existing roof deck to meet or exceed industry standards.
- Install Tri-Built Hybrid underlayment.
- Install 26-gauge pre-painted baked enamel 1 X 3 drip edge, Rake edge T metal flashing.
- Install Malarkey Vista AR Midnight Black shingles and Malarkey 10" EZ-Ridge™ XT Shingles with Scotchgard™ Protector Midnight Black.
- Flash all plumbing pipes with new Ultimate pipe flashings.
- Install (2) 4" metal stem vent.
- Install (10) RVO-38 roof vents for proper exhaust and (11) Full screen 6" soffit vents to meet or exceed industry standards.
- Use ASTM approved hot deep roofing nails.
- Clean up job site, run magnet to remove nails and dispose of all roofing debris.
- Provide sanitation facilities for work crew.

(3.5% check or cash discount included)

This job carries a 10-year warranty against leakage due to workmanship.

Optiona

Continues Ridge-vent	• Cancel all existing roof vents and install continues Ridge-Vent for proper exhaust.	1
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A deposit of \$10,000.00 will be required to begin.

ITEM #16
ON SUMMARY

ITEM 8
ON SUMMARY

Oregon Roof Consulting and Inspection

INVOICE

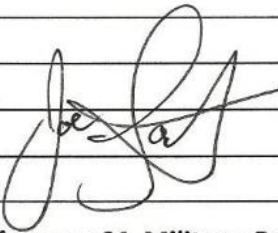
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DATE: JUNE 18TH / 2023
INVOICE # : 5092



FOR :
ROOF INSPECTION | ASSESSMENT
PROVIDE TEXT & PHOTO DOCUMENTATION

DESCRIPTION	HOURS	RATE	AMOUNT
Roof Inspection Onsite & Office Time up to 2 hours is \$275 (Minimum charge). \$125 per additional hour after that.	2.5		\$335.00
Driving Time : First & last 15 minutes of driving time is free after that it's \$80.00 per hour			N / C
If any further advice / help needed via phone or email please call. No charge it's part of the service			
Thank You ! 			
**Deduct 10% for over 64, Military, Police, Firemen or paramedic			
Any offered discounts not valid on (30 Day) past due accounts			
		TOTAL	\$335.00

Make all checks payable to Oregon Roof Consulting and Inspection and / or Joe Sardotz. Total due upon receipt of invoice.
Deduct 7% for prompt payment (1 week).**After 30 days this will be past due and the file will be turned over to collections**
Do not combine discounts – 1 discount per job / invoice ** **THANK YOU FOR YOUR BUSINESS !